



A meeting of the **DEVELOPMENT MANAGEMENT COMMITTEE** will be held in **THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN** on **MONDAY, 15 DECEMBER 2025** at **6:00 PM** and you are requested to attend for the transaction of the following business:-

AGENDA

PLEASE NOTE THE ORDER OF THE AGENDA MAY CHANGE

APOLOGIES

1. MINUTES (Pages 5 - 8)

To approve as a correct record the Minutes of the meeting held on 17th November 2025.

2. MEMBERS' INTERESTS

To receive from Members declarations as to disclosable pecuniary, other registerable and non-registerable interests in relation to any Agenda item. See Notes below.

3. APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

To consider reports by the Planning Service Manager (Development Management).

(a) Hilton - 25/00781/REM (Pages 9 - 42)

Reserved Matters Application relating to the approval of appearance, layout, landscape and scale following outline approval 20/00164/OUT in respect of the construction of 16 Dwellings - Land West of Wychwood, Church End, Hilton.

(b) Kimbolton - 25/01029/FUL (Pages 43 - 86)

Residential development of 65 dwellings together with new access, open space, SuDs features and associated infrastructure - Land North of Aragon Place, Stow Road, Kimbolton.

(c) St Neots - 25/01238/FUL (Pages 87 - 112)

Erection of 2 No. dwellings and associated works - 2 Queens Court, Eaton Socon, St Neots, PE19 8BZ.

(d) Elton - 25/01436/FUL (Pages 113 - 144)

Proposed 2 No. replacement dwellings and 1 No. detached double garage - 3 Sheepwalk Cottages, Oundle Road, Elton, Peterborough, PE8 6SE.

(e) Bluntisham - 25/01600/FUL (Pages 145 - 176)

Change of use from day school to residential dwelling. Demolition of ancillary buildings to the rear and construction of new rear extensions with internal alterations - The Old Day School, High Street, Bluntisham.

(f) Bluntisham - 25/01601/LBC (Pages 177 - 198)

Change of use from day school to residential dwelling. Demolition of ancillary buildings to the rear and construction of new rear extensions with internal alterations - The Old Day School, High Street, Bluntisham.

(g) Brampton - 25/00884/FUL (Pages 199 - 224)

Proposed conversion of outbuilding to dwelling - 50 High Street, Brampton, Huntingdon, PE28 4TH.

(h) Brampton - 25/00885/LBC (Pages 225 - 240)

Proposed conversion of outbuilding to dwelling - 50 High Street, Brampton, Huntingdon, PE28 4TH.

4. APPEAL DECISIONS (Pages 241 - 242)

To consider a report by the Planning Service Manager (Development Management).

LATE REPRESENTATIONS

4 day of December 2025

Michelle Sacks

Chief Executive and Head of Paid Service

Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests

Further information on [Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests is available in the Council's Constitution](#)

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Please contact Anthony Roberts, Democratic Services, Tel: 01480 388015 / email Anthony.Roberts@huntingdonshire.gov.uk if you have a general query on any Agenda Item, wish to tender your apologies for absence from the meeting, or would like information on any decision taken by the Committee.

Specific enquiries with regard to items on the Agenda should be directed towards the Contact Officer.

Members of the public are welcome to attend this meeting as observers except during consideration of confidential or exempt items of business.

Agenda and enclosures can be viewed on the [District Council's website](#).

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HUNTINGDONSHIRE DISTRICT COUNCIL

MINUTES of the meeting of the DEVELOPMENT MANAGEMENT COMMITTEE held in THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN on Monday, 17 November 2025

PRESENT: Councillor D L Mickelburgh – Chair.

Councillors E R Butler, J Clarke, S J Corney, K P Gulson, P A Jordan, S Mokbul, J Neish, B M Pitt, T D Sanderson, R A Slade, C H Tevlin and S Wakeford.

APOLOGIES: Apologies for absence from the meeting were submitted on behalf of Councillors R J Brereton, D B Dew and S R McAdam.

33 MINUTES

The Minutes of the meeting of the Committee held on 20th October 2025 were approved as a correct record and signed by the Chair.

34 MEMBERS' INTERESTS

Councillor J Neish declared a Non-Registrable interest in Minute No 35 (b) by virtue of the fact that the application related to the Ward he represented.

Councillor C Tevlin declared a Non-Registrable interest in Minute No 35 (d) by virtue of the fact that the application related to the Ward she represented.

Councillor S Mokbul declared an Other Registrable interest in Minute No 35 (b) by virtue of the fact that she was a Member of St Ives Town Council.

Councillor S Wakeford placed on record the fact that he was Executive Councillor with responsibility for Economy, Regeneration and Housing, but was present as a Member of the Development Management Committee and had not discussed any of the applications for determination in his capacity as Executive Councillor.

Councillor D Mickelburgh declared a Non-Registrable interest in Minute no 35 (a) by virtue of the fact that the application related to the Ward she represented, left the room and took no part in the discussion or voting on the application.

Councillor T Sanderson placed on record the fact that he was Executive Councillor with responsibility for Planning, he had had no discussions on any of the items for determination, and was present as a Member of the Development Management Committee.

35 APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

The Planning Service Manager (Development Management) submitted reports (copies of which are appended in the Minute Book) on applications for development to be determined by the Committee. Members were advised of further representations, which had been received since the reports had been prepared. Whereupon, it was

RESOLVED

- a) **Change of use from dwelling (Use Class C3) & agricultural land to a wellness centre (Class E) and wedding and events venue (Sui Generis) with guest sleeping accommodation and parking - Hemingford Park, Common Lane, Hemingford Abbots - 25/01248/FUL**

Councillor S Mokbul in the Chair.

(Councillor M Whewell, Hemingford Abbots Parish Council, Councillor P Boothman, Houghton and Wyton Parish Council, S Painter, objector, and M Short, Agent, addressed the Committee on the application).

See Minute No 34 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted together with additional conditions relating to the prohibition of outdoor lighting without prior consent and the prohibition of lanterns.

At 8.25 pm the meeting was adjourned.

At 8.32 pm the meeting resumed.

- b) **Hybrid planning application for up to 13,350 sqm floorspace in Use Classes E(g)(i) Office, E(g)(ii) Research and Development, E(g)(iii) Light Industrial, B2 (General Industrial), B8 (Storage and Distribution) and E/B8 (Trade Counter). Full planning permission for the access and internal road, landscaping and Plots 7 and 8 (up to 2861sqm floorspace). Outline application with all matters reserved except means of access for Plots 1 - 6 (up to 10,486sqm floor space) - Land North of Stocks Bridge Way Compass Point Business Park St Ives - 24/01802/OUT**

Councillor D Mickelburgh in the Chair.

(Councillor M Gleadow, St Ives Town Council, J Bowd, Holywell-cum-Needlingworth Parish Council, and T Waller, Agent, addressed the Committee on the application).

See Minute No 34 for Members' interests.

that the application be approve subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

At 9.25 pm the meeting was adjourned.

At 9.28 pm the meeting resumed.

c) Detached self-build dwelling - 8 Mill Lane, Alwalton - 25/00922/FUL

(Councillor I Hadley, Alwalton Parish Council, and J Richards, Agent, addressed the Committee on the application).

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

d) Proposed erection of a self-build detached dwelling along with conversion of an existing garage into carport and associated works (Resubmission of Application Ref:24/02387/FUL) - 26 - 28 High Street, Fenstanton - 25/01003/FUL

(Councillor T Yates, Fenstanton Parish Council, addressed the Committee on the application).

See Minute No 34 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

36 APPEAL DECISIONS

The Committee received and noted a report by the Planning Service Manager (Development Management), which contained details of four recent decisions by the Planning Inspectorate. A copy of the report is appended in the Minute Book.

RESOLVED

that the contents of the report be noted.

Chair

DEVELOPMENT MANAGEMENT COMMITTEE 15th December 2025

Case No: 25/00781/REM

Proposal: Reserved Matters Application relating to the approval of appearance, layout, landscape and scale following outline approval 20/00164/OUT in respect of the construction of 16 Dwellings

Location: LAND WEST OF WYCHWOOD CHURCH END HILTON

Applicant: Patrick Burke (Burmor Construction)

Grid Ref: 528899 265874

Date of Registration: 29.04.25

Parish: HILTON

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) because the Officer recommendation of approval is contrary to the Parish Council recommendation of refusal.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 This application site is located to the south of the village of Hilton, immediately south of Church End. The site comprises approximately 1.16 hectares of agricultural land with residential development to the north and east (along Church End). Potton Road (B1040) is located to the west of the site and open agricultural land extends to the south. The application site currently forms part of a much larger agricultural field and is contained by an existing tree belt to the south, with established trees and hedging to the east.
- 1.2 There is a footpath on the opposite side of Church End (opposite the site) with streetlights and provides a footpath link through to the village shop and public house.
- 1.3 The site lies within Flood Zone 1 (the lowest risk of flooding) as designated within the Council's Strategic Flood Risk Assessment 2017 and on the Environment Agency Maps for Flooding.

1.4 The site is classified as Grade 2 agricultural land, falling within the categories that are considered the best and most versatile agricultural land.

1.5 The site does not lie within a Conservation Area and there are no listed buildings in close proximity to the site.

The Proposal

1.6 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

1.7 The applicant seeks reserved matters approval for the construction for 16 no. affordable dwellings. These dwellings have been approved in outline already, under application ref: 20/00164/OUT. The means of access has also already been approved by that outline planning permission and is to be taken off Church End. The only matters for consideration in the current application are the appearance, landscaping, layout and scale of the proposed development.

1.8 The proposed dwelling mix comprises:

Affordable Rent

<u>House Type</u>	<u>No of Beds</u>	<u>Height</u>	<u>No of units</u>
H1	3b5p	2 Storey	1
H2	1b2p	1 Storey	2
H4	2b4p	2 Storey	4
Total			7

Shared Ownership

<u>House type</u>	<u>No of Beds</u>	<u>Height</u>	<u>No of units</u>
H1	3b5p	2 Storey	7
H3	2b4p	2 Storey	2
Total			9

1.9 The application has been advertised in the local press; a site notice was placed at the site and letters were sent to 25 nearby addresses.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (12th December 2024) (NPPF 2024) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2024 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).
- 2.2 The NPPF 2024 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP3: Green Infrastructure
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP7: Spatial Planning Areas
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and vehicle movement
 - LP25: Housing Mix
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland Hedges and Hedgerows
 - LP34: Heritage Assets and their Settings
- 3.2 Supplementary Planning Documents (SPD) and Guidance:
- Huntingdonshire Design Guide Supplementary Planning Document (2017):

- Developer Contributions SPD (2011)
- Huntingdonshire strategic Flood Risk Assessment (2024)
- Huntingdonshire Landscape and Townscape Assessment (2007)
- Cambridgeshire Flood and Water SPD 2017
- Huntingdonshire Tree Guidance Note 3
- RECAP CCC Waste Management Design Guide (CCC SPD) 2012

There is no Neighbourhood Plan for Hilton.

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 20/00164/OUT – Outline application for Rural Exceptions Housing for up to 18 dwellings with all matters reserved except access. Approved 28/7/22

5. CONSULTATIONS

- 5.1 Hilton Parish Council – Objection – Full comments have been added to the end of the report, and objections have been summarised below:

- Hilton Parish Council notes that earlier objections (e.g., flooding and drainage concerns from Cambridgeshire County Council) have not been addressed.
- Original approval was under the Rural Housing Exception scheme for affordable housing. Hilton PC argues the need has changed, especially as Hemingford Abbots has met part of its requirement and wants remaining needs met locally. Suggests a new housing needs survey for Hilton.
- Questions remain about who will maintain and pay for: 10 proposed streetlights (seen as excessive), Roads (which will not be adopted), Drainage Pond and green areas. Concern that costs may fall on residents via a management company, which seems unreasonable for affordable housing.
- No clear assurance that existing ditch will handle water runoff from the new site
- Materials and design considered inappropriate for the village setting.
- Seeks assurance that Huntingdon District Council will enforce planting proposals.
- Questions about safety around the new pond.
- Only 3 visitor spaces for 16 houses; no street parking available nearby.
- Requests assessment and mitigation for potential sound issues.

Hemingford Abbots PC – (Adjacent Parish) Full comments have been added to the end of the report, and objections have been summarised below:

- HAPC resolved to refer to our previous response that we submitted on the 25/2/2021 'HAPC resolved to make comment only on the part of this application which referred to the provision of affordable housing. The application considered that some of the affordable housing proposed in this development could meet the needs for such housing as identified for Hemingford Abbots in its Housing Needs Survey carried out by ACRE in 2018. At that time 4 units were identified as needed. Subsequently there has been planning approval for 2 units to be built on the site of the Chapmans garages. HAPC considered that any affordable housing for this parish would be best sited here or preferably in Hemingford Grey, where there is better access to school, shop and other facilities etc. Hilton may be geographically adjacent to the parish boundary, but the settlements do not relate to each other and in particular are separated by 2 dual carriageways.'

- 5.2 HDC Housing Strategy Officer – Supports the application and welcomes a development which assists in meeting an affordable housing need.
- 5.3 Cambridgeshire County Council as the Local Highway Authority – No objection subject to conditions
- 5.4 Cambridgeshire Lead Local Flood Authority (LLFA) – Following the receipt of revised plans and further clarifying information – no objection to the application.
- 5.5 Anglian Water - No objection and the outline planning condition will remain to be satisfied.
- 5.6 Environment Agency – No comments received
- 5.7 Wildlife Trust – No comments received
- 5.8 Cambridgeshire Fire Service – No objection subject to a planning condition relating to Fire Hydrants.
- 5.9 Cambs Police – No objection, considering the area to be of low risk to the vulnerability of crime.
- 5.10 HDC – Urban Design – Support the application in design terms and suggest a number of planning conditions.
- 5.11 HDC – Landscaping and Ecology – Supports the application in principle but requests that the street lighting scheme be revised to reflect the suggested mitigation measures approved in the Outline

application and also suggests the inclusion of additional conditions relating to Bat and Bird boxes and an Ecological walk over prior to development commencement.

- 5.12 HDC Conservation – No comment to make
- 5.13 Active Lifestyles – No objection and support the continued obligations in the s106 agreement.
- 5.14 Cambridgeshire County Council Archaeologist – No objection and the outline planning condition will remain to be satisfied.

6. REPRESENTATION

- 6.1 Objections to the proposal have been received in the form of 9 letters from 4 surrounding households. The following concerns are raised:

- An insufficient amount of visitor parking
- On the unadopted road, who will be responsible for the upkeep of the road and the maintenance of the lighting?
- Continued access problems and risk at the already dangerous Church End/Potton Road junction
- The appearance of the proposed houses is not consistent with the rest of the houses in the village.
- Drainage concern into the boundary ditch.
- Loss of rural views.
- Hilton is a small settlement where only limited infill is supported. The district has exceeded its housing targets, and the HELAA previously deemed Hilton sites unsuitable. The village lacks key infrastructure, no secondary school, GP surgery, or adequate public transport-making this development unsustainable.
- The proposed designs are of poor architectural quality, generic and suburban in nature. They fail to reflect Hilton's rural vernacular and historic character. The materials, massing, and detailing do not meet NPPF standards, which require developments to be "sympathetic to local character and history" (para 130). This risks introducing a visually discordant and uninspiring cluster of buildings.
- The site borders Hilton's Conservation Area, protected under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990. The development does not preserve or enhance its setting and will negatively affect views into and out of the area.
- The basis for the original rural exception planning permission should be reviewed

- 6.2 The following sections of this report aims to address any material planning considerations raised by third party representations with

regard to the Reserved Matters of appearance, landscaping, layout and scale. Matters of principle and the site's means of access have already been approved and are not open for reconsideration.

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2024). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of:
- Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider in the determination of this application are:
- Design, Visual Amenity and Impact on character of the area – (Appearance, Landscaping, Layout and Scale)
 - Affordable Housing mix and tenure
 - Residential Amenity
 - Highway Safety
 - Flood Risk and Surface Water
 - Biodiversity
 - Impact on Trees
 - Other matters

- 7.6 The principle of residential development at the site has already been established through the granting of outline permission reference 20/00167/OUT.

**Design, Visual Amenity and Impact on character of the area
(Appearance, Layout, Scale and Landscaping)**

- 7.7 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the area's character and identity and successfully integrates with adjoining buildings and landscape.
- 7.8 Section 12 of the NPPF (2024) seeks to achieve well designed places, noting that the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development.
- 7.9 The National Design Guide (2020) sets out the characteristics of well-designed places and demonstrates what good design means in practice. It covers the following: context, identity, built form, movement, nature, public spaces, uses, homes and buildings, resources and lifespan. Of particular note to the current proposals is guidance relating to design and how this understands and relates well to the site within its local and wider context, how the history of the place has evolved and that local sense of place and identity are shaped by local history, culture and heritage, how a proposal responds to existing local character and identity, whether proposals are well designed, high quality and attractive and whether they are of an appropriate building type and form.
- 7.10 The HDS Design Guide (2017) is relevant to the current application proposals, in particular chapter 4 and sections 3.7 and 3.8. The guide states that the size, shape and orientation (the form) of a building can have a significant impact upon its surroundings. The form of new buildings should generally reflect traditional built forms found in Huntingdonshire. The scale, massing and height of proposed development should be considered in relation to that of adjoining buildings, the topography, pattern of heights in the area and views, vistas and landmarks.
- 7.11 The guide notes that with regard to building detailing, the district has various architectural styles and materials which reflects the local vernacular. It is noted that new buildings should be designed in harmony and proportional to each other, complimenting the overall street character of the place. Appropriate spaces between buildings helps to create an interesting streetscape. Detailed guidance is also provided relating to roofs, eaves and ridge lines

and chimneys. With regards to materials, these should complement the successful parts of any surrounding developments in order to conserve or enhance the distinctive character of the various parts of the district and to ensure that buildings sit comfortably within the landscape.

Key Design Principles

- 7.12 The outline application (20/00167/OUT) was accompanied by an illustrative Master Plan for the site (Indicative Site Layout Plan Ref: DR-A -502). The Plan identified maximum building heights up to 2 storeys for the northern and most part of the site and 1 storey for the southwest corner. The location of the Sustainable Urban Drainage (SUD) Pond to the east and retention of the tree belt to the south. There is a minimum 10m setback from Church Road to allow for the edge lane and additional planting. A pedestrian connection and a vehicle access were shown connecting the site to Church End and the main village network.

Layout

- 7.13 Layout is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as "the way in which buildings, routes and open spaces within the development are provided, situated and orientated in relation to each other and to buildings and spaces outside the development".
- 7.14 The layout and form of the site has been the subject of pre-application discussions involving the Urban Design Team. The layout has been evolved and has been designed to ensure good place making and accessibility. The existing tree belt and proposed pond required for surface water attenuation has influenced the site layout. The layout comprises of a main spine road with simple edge lane spurs coming off the road. Footpaths are positioned in the majority of areas and abut the main spine, with shared spaces located on the spurs. Parking has been sited to the side of houses to reduce prominence, with minimal parking fronting the dwellings. The proposed frontage, facing onto Church End, has been designed carefully to ensure there is an active frontage, but is also set back from the road, to reflect local rural character of the area.
- 7.15 Condition 8 of the outline planning permission states:
The 'layout' and 'landscaping' reserved matter applications submitted in accordance with Condition 1 shall include a scheme for electric vehicle charging. The scheme shall provide as a minimum for:
- Each dwelling with off road parking with the wiring to facilitate the provision of double electric vehicle charging within 3m of the associated vehicle car parking space. The wiring shall be capable of supporting a double Mode 3 "Fast" charging unit and shall be wired to a dedicated 32A spur to provide 7.4kW charging capacity.

The approved scheme shall be implemented prior to each dwelling being occupied.

- 7.16 The application is accompanied by drawing no. AL0211 rev P13 which illustrates the arrangement of EV charging points and EV ducting for potential charging points. To ensure the scheme as constructed complies with the technical specification requirements of condition 8, a compliance condition is recommended to be imposed.

- 7.17 Condition 20 of the outline planning permission states:

Any reserved matters application for layout, landscaping, appearance or scale submitted pursuant to Condition 1 shall include details of the finished ground floor levels of all buildings. The submitted details shall show the existing and proposed site levels and contours in relation to the adjacent highway, adjacent properties and to existing vegetation and surrounding landform. The submitted details shall include details of levels of all accesses to include pathways, driveways, steps and ramps to above Ordnance Datum (AOD). The development shall be carried out in accordance with the approved details.

- 7.218 The site wide, proposed finished floor levels proposed by the applicant are considered to be acceptable in terms of the relationship with proposed ground levels (including levels of roads, footpaths and gardens) and it is therefore considered the requirements as set out within condition 20 have been met.

- 7.19 The layout of the development is considered to respond to the constraints of the site and forms a legible development. The proposed layout is supported by the Urban Design Team.

Scale

- 7.20 Scale is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as "the height, width and length of each building proposed within the development in relation to its surroundings".

- 7.21 The development would consist of a mixture of single storey and 2 storey scale dwellings. Officers consider this would reflect the built form in the surrounding area and would comply with the principles set by the outline planning permission. The proposed scale is also supported by the Urban Design Team.

Appearance

- 7.22 Appearance is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as "the aspects of a building or place within the development which

determine the visual impression the building or place makes, including the external built form of the development, its architecture, materials, decoration, lighting, colour and texture".

- 7.23 The surrounding existing residential development comprises a predominantly red brick appearance with red facing brick for units facing out on to Church End. The bungalow of Wychwood is buff brick and this is reflected within the proposed new development.
- 7.24 The proposal would reflect a simple contemporary appearance with red brick units fronting Church End and buff brick units within the site. This appearance is supported, reflects pre-application comments and neighbouring properties to the north and provides variation across the site. The proposed dark grey fascias, soffits and rainwater goods and dark grey brick detail to the eaves contribute positively to the contemporary character.
- 7.25 All plots have bin and cycle stores and 2 plots (Plot 3 and Plot 8) will be provided with a single garages.
- 7.26 The proposed appearance is supported by the Urban Design Team. Conditions regarding the proposed materials and architectural details are recommended, to secure a high quality development.

Landscaping

- 7.27 Landscaping is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as "the treatment of land (other than buildings) for the purpose of enhancing or protecting the amenities of the site and the area in which it is situated and includes: (a) screening by fences, walls or other means; (b) the planting of trees, hedges, shrubs or grass; (c) the formation of banks, terraces or other earthworks; (d) the laying out or provision of gardens, courts, squares, water features, sculpture or public art; and (e) the provision of other amenity features"
- 7.28 The proposed overall soft landscaping scheme ensures that all public areas would have effective landscaping such as the Open Space, footpaths and SuDS pond. The development also includes threshold planting to individual units and boundary treatments surrounding the Open Space to help integrate the built form into the overall development.
- 7.29 The proposed overall hard landscaping scheme includes the use of block paving for the shared surfaces, private drives and individual driveways, which is supported.
- 7.30 The proposed landscaping is supported by the Urban Design Team. A condition regarding landscaping maintenance details is recommended in order to secure a high quality development.

- 7.31 Following a collaborative process with the Urban Design Team including an amendment to the design of the development, the Urban Design Team now support the proposal subject to some suggested conditions. It is considered that the layout of the proposed development is now considered to be acceptable following on from the indicative masterplan which supported the outline application. The proposals are therefore considered to create a high-quality development, in keeping with the surrounding and adjacent development, and would be acceptable in relation to layout, scale, appearance and landscaping matters, in accordance with the NPPF and policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036 and the HDC Urban Design Guide.

Affordable Housing and Housing Mix

- 7.32 Policy LP25 of the Local Plan to 2036 outlines that a proposal for major scale development that includes housing will be supported where it provides a mix of sizes, types and tenures that help achieve sustainable, inclusive and mixed communities.
- 7.33 The application proposal, as established at outline approval, is for a 100% affordable homes development. The dwellings are split between the tenures Affordable Rent (7 Units) and Shared Ownership (9 units). The tenure mix and dwelling types are supported by the Council's Housing Strategy Officer, notwithstanding concerns raised by the Parish Council.
- 7.34 The proposed housing mix would provide a mix of one-, two- and three bedroom properties that are either Shared Ownership or Affordable Rent to support an identified housing need. The proposed mix is therefore considered to be acceptable and would help to achieve a sustainable, inclusive and mixed community in this locality with a good mix of sizes of dwellings in accordance with Policies LP24 and LP25 of the Local Plan.

Residential Amenity

- 7.35 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.

Amenity of neighbouring properties

- 7.36 The closest neighbouring residential property is to the east of the site, Wychwood, it is though separated by the retained extensive tree boundary and the SuDS Pond. Notwithstanding that, the proposed development has been designed to ensure compliance with HDC District Design Guide separations distances to ensure the proposed development respects the amenity and privacy of any neighbouring properties.

- 7.37 The other closest neighbouring residential properties are to the north of the site. HDC District Design Guide separations distances have been adhered to, to ensure the proposed development respects the amenity and privacy of the neighbouring properties.

Amenity for future occupiers

- 7.38 In respect to amenity of future occupants, given the scale of the application site, Officers consider that the proposed residential units provide sufficient amenity space and are not adversely impacted through overlooking or loss of light. It is noted that, in any event, occupants would be aware of the layout and relationship of the site and would be able to make an informed decision on how that relationship would relate to their personal needs.
- 7.39 The proposed development is therefore considered to be acceptable in terms of the levels of privacy, light and outlook afforded to both existing neighbouring properties and future occupants of the proposed development. Overall, taking the above factors into consideration, the proposal is considered to be acceptable with regard to its impact on residential amenity and therefore accords with Policy LP14 of Huntingdonshire's Local Plan to 2036, the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy Framework, in this regard.

Highway Safety & Parking Provision

- 7.40 Policies LP16 and LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles.
- 7.41 Officers note the concerns raised by local residents. The vehicular access via Church End was approved as part of the outline permission and was considered suitable and acceptable to serve the quantum of dwellings proposed, in highway safety terms. The impact of the quantum of dwellings on the local highway network was also deemed to be acceptable. Access considerations have already been considered and approved pursuant to the outline planning permission.
- 7.42 Condition 11 of the outline planning permission states:
- Any reserved matters application for layout submitted pursuant to Condition 1 shall include full details (in the form of scaled plans and/or written specifications) and shall be submitted to and approved in writing by the Local Planning Authority in consultation with the Highway Authority with details to include the following:

- a) Full details of layout of the site, including roads, footways, buildings, visibility splays, parking provision and surface water drainage, details of the siting of buildings and means of access thereto and turning areas.
- b) Setting out of access in accordance with Cambridgeshire County Council construction specification.
- c) Temporary facilities shall be provided clear of the public highway for parking, turning, loading and unloading of all vehicles visiting the site during the period of construction.
- d) Visibility splays shall be provided in accordance with the approved plan 45973/2001/100 P2, prior to the first occupation of the development and maintained free of obstruction
- e) 6m Radius kerbs shall be provided at the junction of the access with the highway prior to first occupation.

The development shall thereafter be carried out in accordance with the approved details.

- 7.43 Cambridgeshire County Council acting as Highways Authority have assessed and scrutinised the plans and it is considered that the plans submitted are acceptable and some planning conditions are suggested. The requirements of condition 11 of the outline planning permission has been satisfied. The proposal would comply with aims of policies LP16 and LP17 of the of the Huntingdonshire Local Plan.

Highway Safety

- 7.44 In terms of the internal layout, the layout is detailed as a standard conventional layout with main spine and southern loop road and private shared drives accessed from a central spine road. Discussions have taken place with County Highways Officers during consideration of the application and amendments have been made to both the layout of the proposals and surface finishes to address their concerns.
- 7.45 The Highway Authority support the application, subject to recommending a number of highway safety conditions in respect of management and maintenance of roads, visibility splay to be provided at Church End junction, details of the ditch crossing in to the site and roads to be provided to binder course level before occupation.
- 7.46 It is considered that the submitted plans, that include vehicle and refuse tracking, demonstrate acceptable levels of highway safety, visibility, manoeuvrability and access to all individual plots. As such, the proposal is in accordance with Policy LP17 of Huntingdonshire's Local Plan to 2036.

Parking

- 7.47 At least two off street car parking spaces are to be provided for each dwelling, with a number of visitor parking spaces (3 no.) being located around the site.
- 7.48 Condition 17 of the outline planning permission states:
Any reserved matters application for layout or appearance submitted pursuant to Condition 1 shall be accompanied by details of parking provision and vehicle movement and shall accord with the requirement of Policy LP17 of Huntingdonshire's Local Plan to 2036 and guidance within Huntingdonshire's Design Guide (2017). The development shall be implemented in accordance with approved details
- 7.49 Cambridgeshire County Council acting as Highways Authority have assessed and scrutinised the plans and it is considered that the plans submitted are acceptable. Parking arrangements and movement are shown on Plan Ref: AL0201 P13. The requirements of condition 17 of the outline planning permission has been satisfied. The proposal would comply with aims of policies LP16 and LP17 of the of the Huntingdonshire Local Plan
- 7.50 Condition 7 of the outline planning permission states:

The 'layout' and 'appearance' reserved matters applications submitted in accordance with condition 1 for the development shall include details of the provision of secure cycle parking for each dwelling, to comply with the requirements of the Huntingdonshire Design Guide SPD 2017 and Policy LP17 of the Huntingdonshire Local Plan to 2036. No dwelling shall be occupied in the development until the cycle parking for that dwelling has been provided in accordance with the approved details and shall thereafter be kept available for that use.
- 7.51 The submitted plans show cycle stores within the rear gardens of every dwelling (Plan Ref: AK0031 P01 and Plan Ref: AL0201 - P13). The details as submitted are considered to be acceptable and therefore the requirements of condition 7 of the outline planning permission has been satisfied. The proposal would therefore help encourage sustainable modes of transport and would comply with aims of policies LP16 and LP17 of the of the Huntingdonshire Local Plan.

Flood Risk and Surface Water

- 7.52 Condition 6 of the outline planning permission states:

Any reserved matters application for layout or landscaping submitted pursuant to Condition 1 shall be accompanied by a surface water drainage scheme for the site, based on sustainable

drainage principles. The scheme shall subsequently be implemented in accordance with the approved details before the development is completed. The scheme shall be based upon the principles within the agreed Flood Risk Assessment and Surface Water Drainage Strategy Rev B Nov 2020 prepared by Stantec (ref: 45973/4005 Rev B) dated November 2020 and shall also include:

- a) Full calculations detailing the existing surface water runoff rates for the QBAR, 3.3% Annual Exceedance Probability (AEP) (1 in 30) and 1% AEP (1 in 100) storm events;
- b) Full results of the proposed drainage system modelling in the above-referenced storm events (as well as 1% AEP plus climate change) , inclusive of all collection, conveyance, storage, flow control and disposal elements and including an allowance for urban creep, together with an assessment of system performance;
- c) Detailed drawings of the entire proposed surface water drainage system, including levels, gradients, dimensions and pipe reference numbers;
- d) Full details of the proposed attenuation and flow control measures;
- e) Site Investigation and test results to confirm infiltration rates;
- f) Details of overland flood flow routes in the event of system exceedance, with demonstration that such flows can be appropriately managed on site without increasing flood risk to occupants;
- g) Full details of the maintenance/adoption of the surface water drainage system;
- h) Measures taken to prevent pollution of the receiving groundwater and/or surface water;

The drainage scheme must adhere to the hierarchy of drainage options as outlined in the NPPF PPG.

- 7.53 The concerns raised by the Parish Council and neighbouring occupiers are noted. The applicant has had discussions with the Lead Local Flood Authority (LLFA) regarding drainage for the development. Revised and additional information has been submitted throughout the application process.
- 7.54 The submitted documents demonstrate that surface water from the proposed development can be managed through the use of permeable paving and an attenuation basin, restricting surface water drainage to an acceptable rate. The use of permeable paving, in addition to controlling the rate of surface water leaving the site, also provides water quality treatment, which is of particular importance when discharging into any watercourse. The use of an attenuation basin also provides water quality, biodiversity, and amenity benefits.
- 7.55 Taking into account the outline planning permission, following the submission and consideration of further information, the Lead Local Flood Authority now support the application, officers are

satisfied that the requirements of condition 6 have therefore been met.

- 7.56 Overall, the proposal is considered to be acceptable with regard to its impact on both flood risk and surface water and would not result in flooding on the site or elsewhere. The proposal therefore accords with Policies LP5, LP6 and LP15 of Huntingdonshire's Local Plan to 2036 and Section 14 of the National Planning Policy Framework in this regard.

Biodiversity

- 7.57 Paragraph 180 of the NPPF (2023) states Planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of the Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible, through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type, and location of development.

- 7.58 The site is not subject to the new legislation of requiring a statutory 10% increase in Biodiversity. The outline approval for the scheme was before 12th February 2024.

- 7.59 Condition 19 of the outline planning permission states:

As part of any reserved matters for landscaping or layout submitted pursuant to Condition 1, details of ecological mitigation and enhancement in the form of a Biodiversity Method Statement shall be submitted the Local Planning Authority. The biodiversity method statement shall include but not be limited to the recommendations set out within the Preliminary Ecological Appraisal and Impact Assessment Rev A (prepared by SES) dated 12th November 2020. No development shall commence until the Biodiversity Method Statement has been approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and all enhancements measures shall thereafter be retained as such in perpetuity.

- 7.60 This application has been accompanied by a Biodiversity Method Statement (BMS) - Ref: 2516-PHA dated Feb 2025. It includes details of biodiversity enhancement measures in line with the previous ecological reports by Southern Ecological Solutions, Report dated November 2020 and Ecological Survey by RammSanderson. The BMS also describes habitat creation, management and monitoring in line with the landscaping plans and previous ecology works, in order to ensure that the target

habitats and conditions of the Biodiversity Net Gain Assessments are met.

- 7.61 The HDC Landscape and Biodiversity Officer has reviewed the submitted information and advises that in its current form, the BMS is not wholly acceptable but that updates could be secured by condition. The submitted BMS relies on a significant amount of information for the outline planning evidence on ecology and it is noted that these documents are now 5 yrs old. This is out of date for consideration. The Biodiversity Officer recognises that the site does not contain any protected species and does not currently have a particularly high ecological value, but would still recommend that a qualified ecologist surveys the site PRIOR to any works commencing and a report is then submitted to the Local planning Authority for assessment and approval. This will be obligated by a planning condition placed on any approval.

The BMS also negates to focus on a few 'mitigation measures' that are recommended in the original outline planning approval and these will need to be addressed by additional planning conditions to include bat and bird boxes and wildlife sensitive lighting. Lighting Plan submitted Ref: WLC1284-1300-001_R2 will need to be updated.

It is considered that to meet the requirements of conditions 19 a further condition is required.

- 7.62 As such, subject to the imposition of recommended conditions, the proposal is considered to then broadly accord with the objectives of Policy LP30 of Huntingdonshire's Local Plan to 2036 and Section 15 of the National Planning Policy Framework in this regard.

Impact on Trees

- 7.63 Policy LP31 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development.

- 7.64 Condition 22 of the outline planning permission states:

Any reserved matters application for layout or landscaping submitted pursuant to Condition 1 shall include the submission of a Tree Survey and Arboricultural Impact Assessment. In addition, no development, demolition, clearance or preparatory operations (including excavations) shall commence on site in connection with the development hereby approved until a Tree Survey, Arboricultural Impact Assessment (including a Tree Constraints

Plan), Arboricultural Method Statement and Tree Protection Plan showing the tree or group of trees, the Root Protection Area(s) and the crown spread(s) in relation to the proposed development layout have been submitted to and approved in writing by the Local Planning Authority. The approved tree protection measures shall be implemented before any equipment, machinery, or materials are brought on to the site in connection with the works. They shall be retained intact for the duration of the construction works and shall only be removed or altered following completion. Any trees, shrubs or hedges covered by the protection measures which die or become severely damaged

- 7.65 This application is accompanied by an Arboricultural report and impact statement and method statement (which includes tree protection plans).
- 7.66 The Landscape Officers have reviewed the submitted information and have no objections from an Arboricultural perspective. Given that there are a number of trees that require protection during construction, the condition will be fully discharged once the tree protection is in place and held in perpetuity for the duration of the construction.
- 7.67 Accordingly, subject to the imposition of conditions regarding landscaping details, the proposal is considered acceptable in accordance with Policy LP31 of the Local Plan to 2036.

Infrastructure Requirements and Planning Obligations

- 7.68 All the obligations requested via CIL and the S106 agreement associated with the outline approval will prevail.

Other Matters

- 7.69 The previously noted neighbour representations are acknowledged. However, the principle of the development has already been established through the approval of 20/00863/OUT, and therefore many of the objections in principle to the site being developed for housing, and indeed affordable housing, are not considered to be material and therefore have no weight in the planning balance.
- 7.70 Other comments made on the application via 3rd party representation, such as impact on views, impact on Conservation Area, Drainage, maintenance of roads and open space, architectural design not in keeping with the village and highway and parking objections. These points raised have all been clarified by the submission of plans and documents that the technical consultees have now had time to assess and all have responded that they are satisfied, and the information submitted is deemed appropriate.

- 7.71 The matters of management and maintenance of both roads and open space are controlled by planning conditions on the outline approval and additional conditions are proposed for this submission also. It has also been confirmed by the applicant that in the site will have a dedicated Management Company for upkeep and maintenance of the site and this is controlled via the s106 agreement dated 4th July 2022.

Conclusion

Planning Balance

- 7.72 NPPF paragraph 78 requires the council to identify and update annually a supply of specific deliverable sites sufficient to provide a minimum of five years' worth of housing against our housing requirement.
- 7.73 A substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements was introduced on 12 December 2024 in the revised NPPF and associated NPPG (the standard method).
- 7.74 As Huntingdonshire's Local Plan to 2036 is now over 5 years old, it is necessary to demonstrate a five-year housing land supply (5YHLS) based on the housing requirement set using the standard method. NPPF paragraph 78 also requires the provision of a buffer to ensure choice and competition in the market for land.
- 7.75 As Huntingdonshire has successfully exceeded the requirements of the Housing Delivery Test, a 5% buffer is required here. The 5-year housing land requirement, including a 5% buffer, is 5,907 homes. The current 5YHLS is 4,345 homes, equivalent to 3.68 years' supply.
- 7.76 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'.
- 7.77 While no 5YHLS can be demonstrated, the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications. Each planning application will be considered on its own merits and the degree of weight to be attached is a matter for the decision maker. Where an application is situated within a parish with a made Neighbourhood Plan NPPF paragraph 14 should also be taken into account.

- 7.78 Planning law requires that applications for planning permission be determined in accordance with the development plan unless material considerations indicate otherwise.
- 7.79 Outline planning permission was granted under reference 20/00167/OUT for the 'Proposed development of up to 18 dwellings to include public open space, landscaping, access and associated works. Approval was also given for Access at this outline stage, with Layout, Landscaping, Scale and Appearance being reserved matters.'
- 7.80 In order for the Local Planning Authority to refuse this reserved matters application it would need to demonstrate that any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits. For the reasons set out in this report, Officers do not believe this to be the case.
- 7.81 The applicant has worked collaboratively with Officers to ensure the proposal would result in a high-quality development, whilst respecting the local character of the area. These details of appearance, layout, landscaping and scale details have therefore been found to be satisfactory.
- 7.82 The submitted information regarding Condition 22 (tree protection), Condition 20 (site and floor levels), Condition 7 (cycle parking) Condition 8 (electric vehicle charging), Condition 6 (drainage), Condition 19 (Biodiversity), Condition 11 (Highways details) Condition 17 (Parking and Movement) Condition 24 (external lighting) are considered to be acceptable and the submission requirements have therefore been met subject to a number of additional conditions.
- 7.83 The proposed development will deliver 16 dwellings towards the Council's 5 year housing land supply as well as being 100% affordable housing.
- 7.84 The development will be bound by the S106 and obligations associated with 20/00167/OUT.
- 7.85 Having regard to all relevant material considerations, it is recommended that approval be granted for the reserved matters which comprise appearance, layout, scale and landscaping subject to the imposition of appropriate conditions.

8. RECOMMENDATION – APPROVAL subject to the following conditions regarding:

1. Approved plans
2. Materials
3. Additional architectural details
4. Hard surfacing finishes
5. Landscaping management and maintenance

6. Bat and Bird Box Plan
7. Ecology Walk over Survey
8. Biodiversity Statement
9. Management and Maintenance of Roads
10. Streets to binder course level
11. Ditch Crossing details
12. On site parking/turning and servicing shall be to approved plan P101
13. Church End visibly splays shall be provided as approved plan
14. Access drainage to prevent surface water run off
15. Street Lighting Plan

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CONTACT OFFICER:

Enquiries about this report to **Hannah Guy – Principal Planner**

[REDACTED]

From: [REDACTED]
Sent: 23 May 2025 14:50
To: Control, Development (Planning); DMAdmin
Cc: [REDACTED]
Subject: FW: Hemingford Abbots Parish Council - Responses to Planning Applications
Importance: High

Dear team

Please would you add our comments to the planning portal for the applications detailed below.

Would you also send me a quick email to confirm once this has been carried – thank you.

25/00767/HHFUL & 25/00775/LBC Hemingford Park Hall Hemingford Park Common Lane Hemingford Abbots Huntingdon PE28
9AS. Proposed replacement greenhouse (retrospective). HAPC to respond by the 30th of May 2025

HAPC resolved neither for nor against this application, though we would like to raise the point that the air-conditioning units are still clearly showing on some photographs the application pack; therefore we would like confirmation that these have been removed as stated elsewhere in writing in the application.

25/00781/REM Land West of Wychwood Church End, Hilton. Proposal: Reserved Matters Application relating to the approval of appearance, layout, landscape and scale following outline approval 20/00164/OUT in respect of the construction of 16 Dwellings.

HAPC resolved to refer to our previous response that we submitted on the 25/2/2021 (below).

‘HAPC resolved to make comment only on the part of this application which referred to the provision of affordable housing. The application considered that some of the affordable housing proposed in this development could meet the needs for such housing as identified for Hemingford Abbots in its Housing Needs Survey carried out by ACRE in 2018. At that time 4 units were identified as needed. Subsequently there has been planning approval for 2 units to be built on the site of the Chapmans garages. HAPC considered that any affordable housing for this parish would be best sited here or preferably in Hemingford Grey, where there is better access to school, shop and other facilities etc. Hilton may be geographically adjacent to the parish boundary, but the settlements do not relate to each other and in particular are separated by 2 dual carriageways.’

25/00779/TRCA Land Rear Of 76 Common Lane Hemingford Abbots. Removal of 4no. trees (Horse Chestnut, Lawson Cypress, Apple and Holly) within the rear garden and grind out their stumps to return the area to lawn.

HAPC has not been asked to comment on the removal of these trees but is disappointed to hear about the loss of this number of trees, which are being removed to primarily enhance personal amenity, and without any plans for replacement.

We would again like to encourage the District Council to consult with us on all tree applications: they are an important part of village life in a conservation area, providing habitat for a variety of wildlife, and helping with flood protection and mitigation.

To better understand HDC's Tree Policy, HAPC would like to invite our designated Tree Officer to attend one of our Parish Council meetings.

Kindest regards

[REDACTED] | Parish Clerk

Hemingford Abbots Parish Council | 18 Church Street | Hemingford Grey | PE28 9DF

[REDACTED]

Website: www.hemingfordabbots.org.uk

Please note my days of work vary and I may not be able to respond to your email immediately.

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Hilton Parish Council would like to comment on this application as follows:

- 1) The Parish Council cannot see any detailed response to the comments raised in June to the various comments and objections made. For example, the objections raised by Hilary Tandy from Cambridgeshire County Council regarding flooding and drainage do not appear to have been answered specifically.
- 2) This application gained approval under the Rural Housing Exception scheme on the basis that a significant of the development would be for affordable housing. It was argued that the site would meet the affordable housing requirement for Hilton and the Hemingfords despite the Hemingfords commenting that they would prefer their affordable housing requirements being provided for in their parishes. In May 2025 Hemingford Abbots commented that of their identified need of 4 affordable houses 2 had been built and reiterated that they feel their remaining need should be met within the Hemingfords. Hilton Parish Council believe that this now make this application fall outside the original terms of the approval and would welcome a housing survey be conducted to identify the needs within Hilton.
- 3) In our comments in June 2025 we asked for more information on who would be responsible for maintaining and paying for the street lighting on the proposed development. Comment is made within the more recent documentation that there will be 10 streetlamps on this site:
 - a) This appears to be a disproportionate number of lights in comparison to other areas of the village
 - b) Comment is made that the roads on the site will not be adopted so we ask again who will be responsible for the maintenance of these lights and who will be responsible for paying the electricity cost.
- 4) If the roads are not adopted this leads on to the question as to who will be responsible for the maintenance and upkeep of these roads.
- 5) We ask also the same question about who will be responsible for the maintenance and grass cutting highlighted in for the drainage pond and green areas.
- 6) Given the questions in 3,4 and 5 above we wonder if the intention is for these requirements to be handed to a management company with the householders being charged to cover these services? Is this a reasonable thing to do when the site is being developed for affordable housing?
- 7) A parishioner has asked for reassurances that the existing ditch will not be overwhelmed by water coming off the new site, but it is hard to see that there has been any attempt to answer that request.
- 8) Hilton Parish Council consider the proposed appearance of the properties to be unacceptable. The material pallet is not appropriate for the surrounding environment of the village.
- 9) What guarantees are there that Huntingdon District Council will ensure that the developers meet the planting proposals?
- 10) What risk assessment has been undertaken regarding safety around the new pond?
- 11) This is a proposed development of 16 houses on a small site. Within the site there are parking spaces available for 3 visitors. Hilton parish Council consider this to be woefully inadequate. There is no ability to park on Church End and these concerns have been raised before and remain unanswered.

12) Comment has been raised in the village about sound pollution coming from this small site. What assessment has been carried out in this regard and what mitigation is being considered?

In conclusion Hilton Parish Council states that this application remains deeply unpopular in the village, and we consider that there has been a significant change in the underlying claims regarding affordable housing needs and as such the decision to approve should be overturned.





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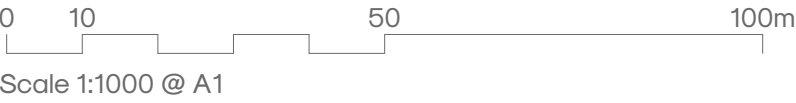
Key	
—	Site Boundary
—	Site Ownership

P01	Planning Application issue	14.02.25
revision	note	date

client
Oakwater Burmor for Accent

project title
Residential Development, Church End
Hilton
drawing title
Location Plan

drawing status Planning Application		
scale	date	
1:1000 @ A1	February 2025	
project number	drawing number	revision
2748	AL0101	P01





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- Key
- House Type 1 - 3b5p (2 Storeys)
 - House Type 2 - 1b2p (1 Storey)
 - House Type 3 - 2b4p (2 Storeys)
 - House Type 4 - 2b4p (2 Storeys)
 - Carport
 - Site Boundary
 - Site Ownership
 - Adoptable Road
 - Private Drive
 - Adoptable Shared Surface
 - Drainage easement
 - Grasscrete
 - EV charging point with wiring capable of supporting a double Mode 3 "Fast" charging unit and to be wired to a dedicated 32A spur to provide 7.4kW charging capacity
 - Cycle store
 - Bin store
 - Existing Plants
 - Existing Tree
 - Proposed Tree
 - Feature Elevation

P13	Removed bin stores based on UD comments	10.11.25
P12	Updated layout to match drawing 26448 - 102E	16.09.25
P11	Adjusted layout to add loop road and others comments from UD & LHA	05.08.25
P10	Added driveway in front of Plots 1 & 2	22.07.25
See previous revision for notes		

revision	note	date

client

Oakwater Burmor for Accent

project title

Residential Development, Church End
Hilton

drawing title

Proposed Site Plan

drawing status

Planning Application

scale	date	
1:250 @ A1	February 2025	
project number	drawing number	revision
2748	AL0201	P13



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Scale 1:250 @ A1



P10	Updated to match AL0201 P13	10.11.25
P09	Updated to match AL0201 P12	16.09.25
P08	Updated to match AL0201 P08	25.03.25
P07	Updated to match AL0201 P07	18.03.25
P06	Updated to match AL0201 P06	12.03.25
P05	Updated to match AL0201 P05	21.02.25
P04	Updated to match AL0201 P04	20.02.25
P03	Updated to match AL0201 P03	20.02.25
P02	Updated to match AL0201 P02	19.02.25
P01	Planning Application issue	14.02.25
revision	note	date

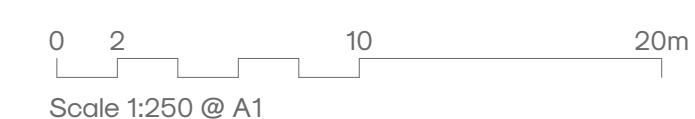
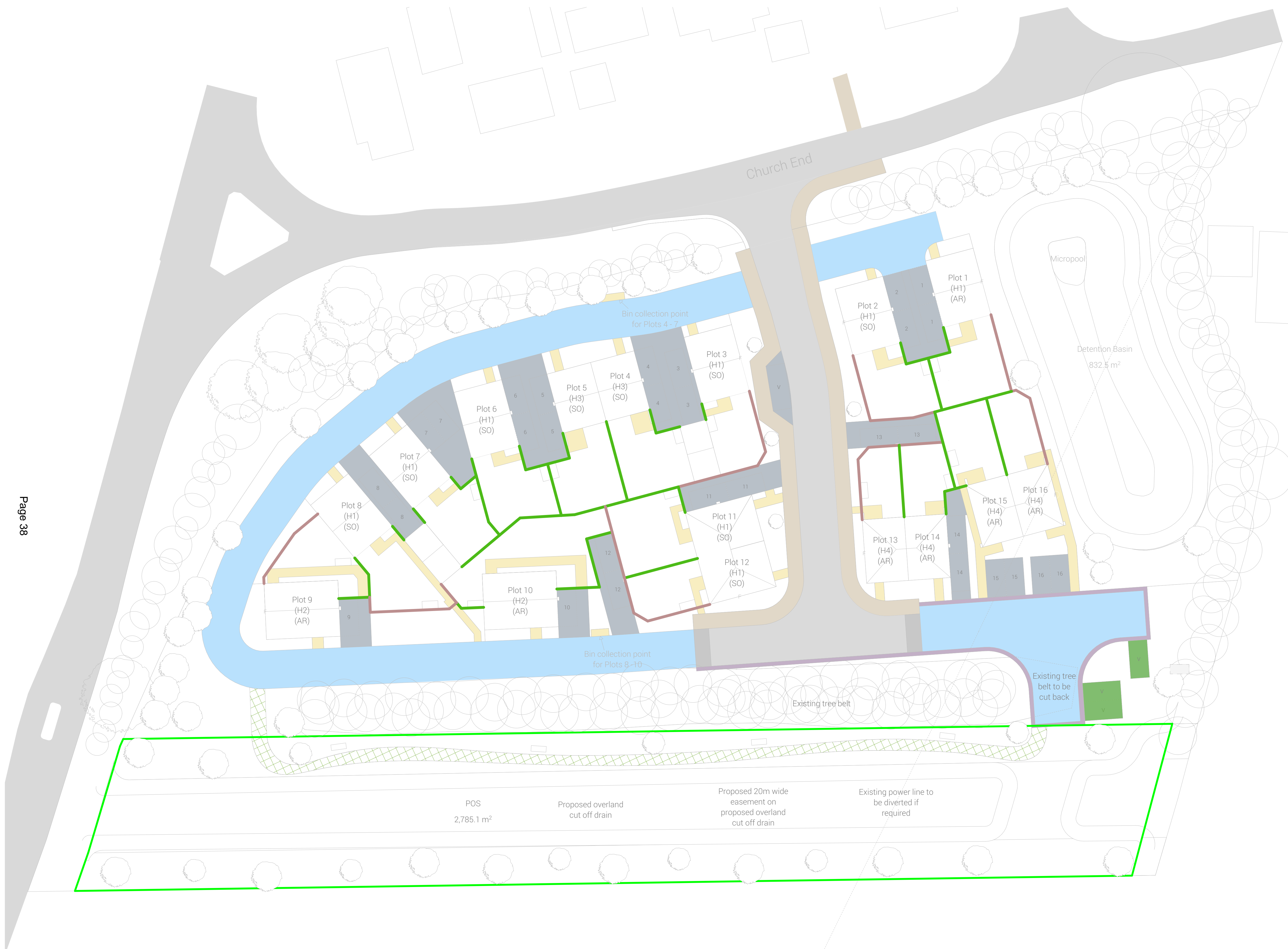
project title

Residential Development, Church End
Hilton

drawing title

Proposed Site Plan – Boundary Treatment
and Hard Surfacing

scale	date	
1:250 @ A1	February 2025	
project number	drawing number	revision
2748	AL0204	P10





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- Key
- Shared Ownership (SO)
 - Affordable Rent (AR)
 - Site Boundary
 - Site Ownership

P10	Updated to match AL0201 P13	10.11.25
P09	Updated to match AL0201 P12	16.09.25
P08	Updated to match AL0201 P08	25.03.25
P07	Updated to match AL0201 P07	18.03.25
P06	Updated to match AL0201 P06	12.03.25
P05	Updated to match AL0201 P05	21.02.25
P04	Updated to match AL0201 P04	20.02.25
P03	Updated to match AL0201 P03	20.02.25
P02	Updated to match AL0201 P02	19.02.25
P01	Planning Application issue	14.02.25
revision	note	date

client
Oakwater Burmor for Accent

project title
Residential Development, Church End
Hilton
drawing title
Proposed Tenure Plan

drawing status
Planning Application
scale date
1:250 @ A1 February 2025
project number drawing number revision
2748 AL0202 P10

0 2 10 20m
Scale 1:250 @ A1





Front Elevation



Side Elevation (only on Plots 13 & 16)



3D Visual (only on Plots 13 & 16)



Rear Elevation



Side Elevation (only on Plots 14 & 15)

P05	Added window above staircase landing on feature elevation	10.11.25
P04	Reduced first floor bedroom window opening heights based on overheating assessor's feedback	25.03.25
P03	Added a window in the entrance hallway	18.03.25
P02	Updated brick colour and added brick colour note	20.02.25
P01	Planning Application issue	14.02.25

revision note date

client
Oakwater Burmor for Accent

project title
Residential Development, Church End
Hilton

drawing title
Elevations - H4 Semi-Detached with
feature wall

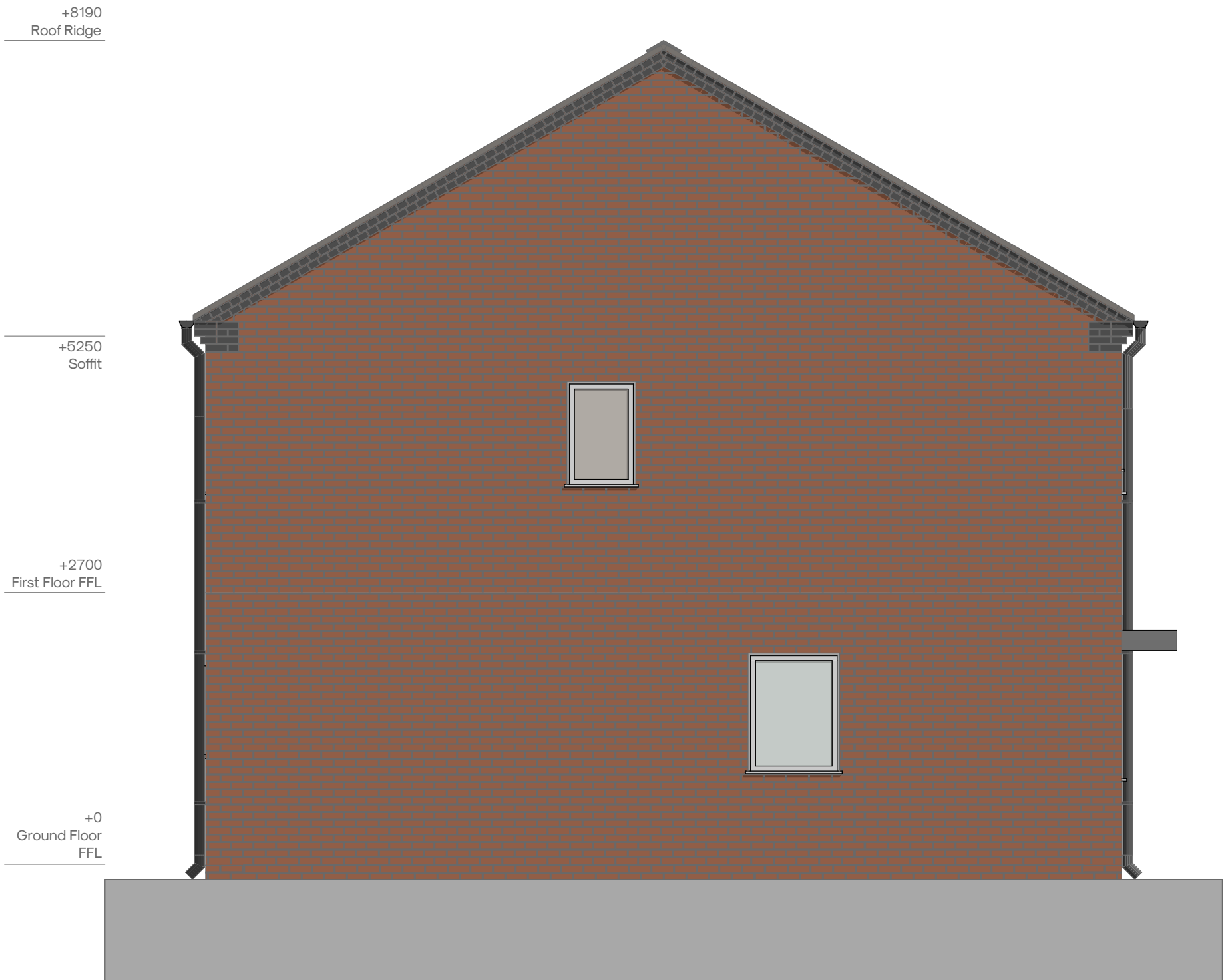
drawing status
Planning Application

scale date
1:50 @ A1 February 2025

project number drawing number revision
2748 AB0806 P05



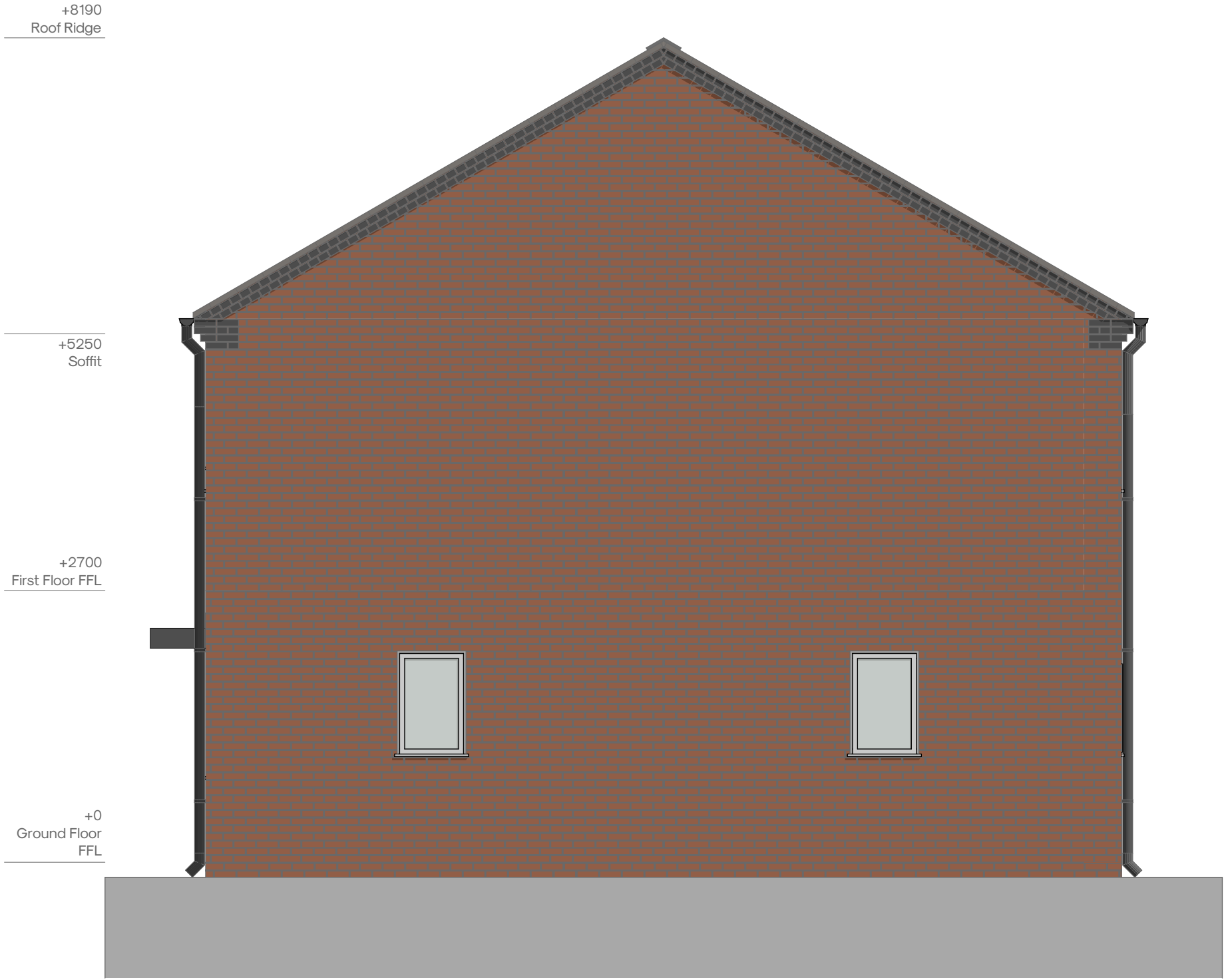
Front Elevation



Side Elevation (only on Plots 6, 7 & 8)
(GF window to be omitted from Plot 8)



Rear Elevation



Side Elevation (Plots 1, 2, 3, 6, 7 & 8)



3D Visual

P04	Updated elevation details to match AL0201 P13	10.11.25
P03	Reduced first floor bedroom window opening heights based on overheating assessor's feedback	25.03.25
P02	Added brick colour note	20.02.25
P01	Planning Application issue	14.02.25
revision	note	date

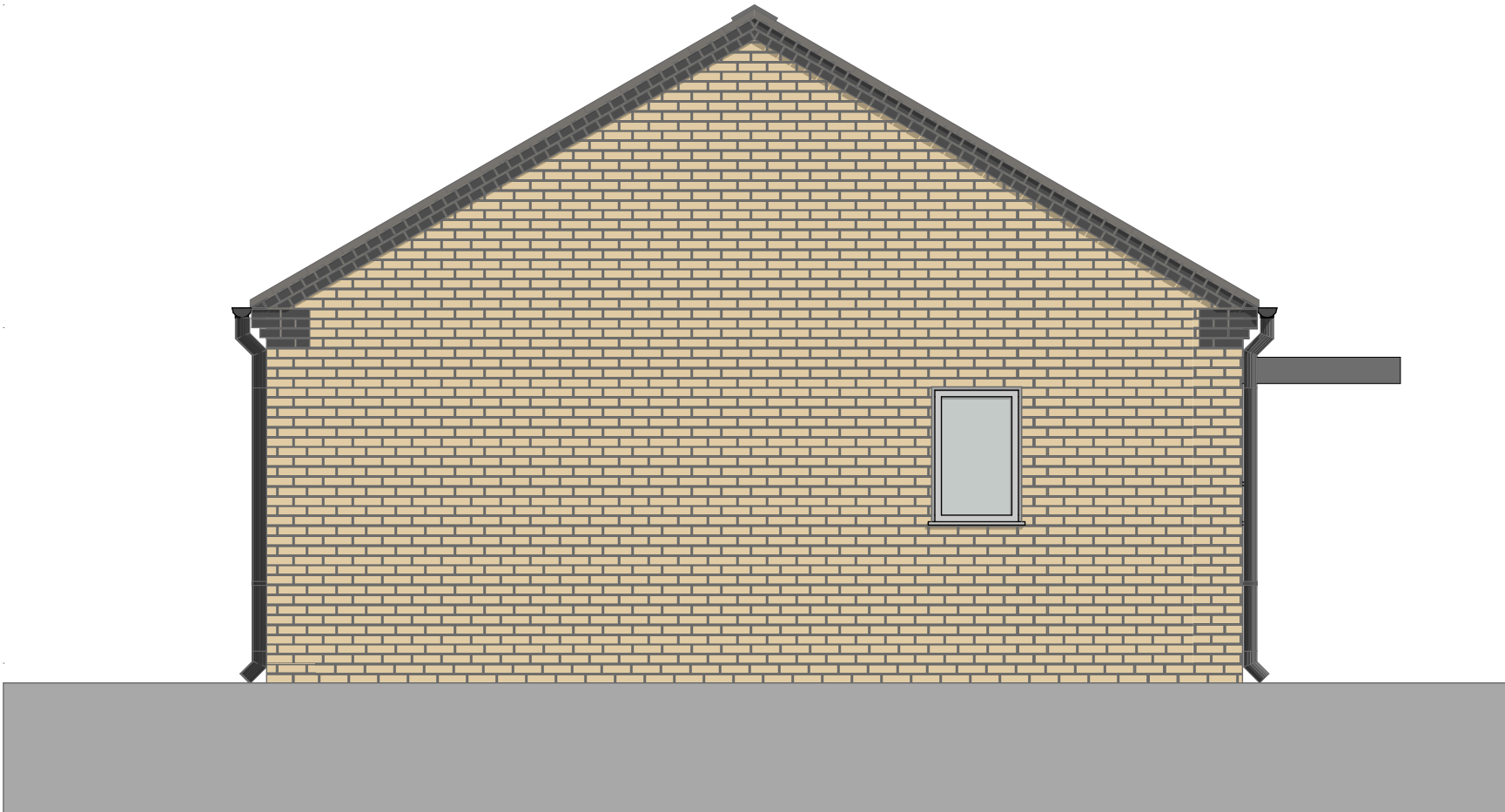
client
Oakwater Burmor for Accent

project title
Residential Development, Church End
Hilton
drawing title
Elevations - H1 Detached

drawing status Planning Application	scale 1:50 @ A1	date February 2025	revision P04
project number 2748	drawing number AB0801	revision P04	



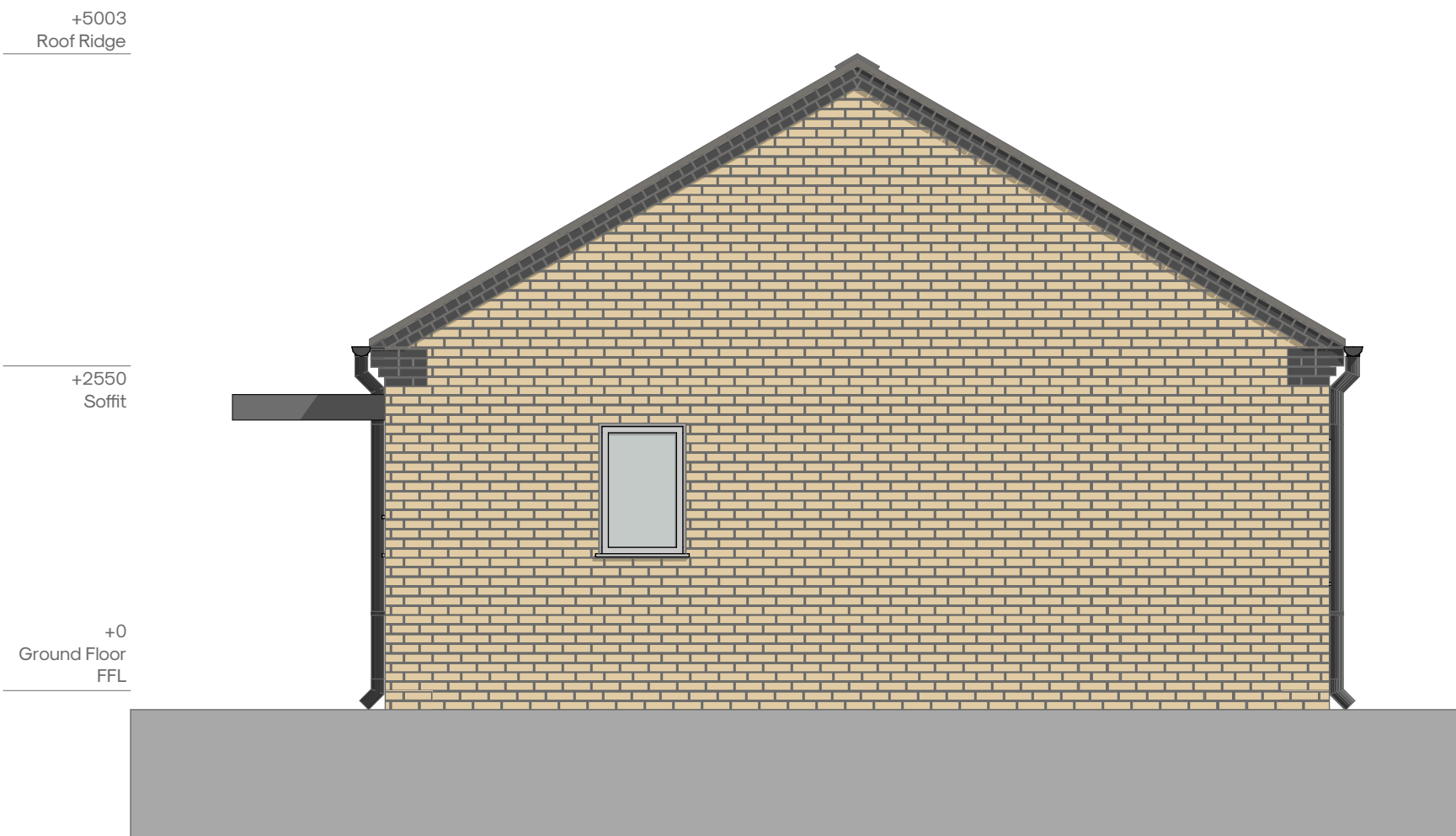
Front Elevation



Side Elevation



Rear Elevation



Side Elevation



3D Visual

This drawing is copyright of DT Architects. Check all dimensions onsite. The contractor shall bring any discrepancies immediately to the notice of the Architect.

H2 Detached
Buff facing bricks - Plot 10

H2 Detached with feature wall
Red facing bricks - Plot 9

P06	Mirrored layout to match drawing AB0203	12.03.25
P05	Removed rear canopy	12.03.25
P04	Added rear canopy and removed carport	11.03.25
P03	Added carport and moved Plot 9 elevations to drawing AB0807	06.03.25
P02	Updated brick colour and added brick colour note	20.02.25
P01	Planning Application issue	14.02.25
revision	note	date

client
Oakwater Burmor for Accent

project title
Residential Development, Church End
Hilton
drawing title
Elevations - H2 Detached

drawing status Planning Application		
scale	date	
1:50 @ A1	February 2025	
project number	drawing number	revision
2748	AB0804	P06



**DEVELOPMENT MANAGEMENT
COMMITTEE 15th DECEMBER 2025**

Case No: 25/01029/FUL

**Proposal: RESIDENTIAL DEVELOPMENT OF 65 DWELLINGS
TOGETHER WITH NEW ACCESS, OPEN SPACE, SUDS
FEATURES AND ASSOCIATED INFRASTRUCTURE**

**Location: LAND NORTH OF ARAGON PLACE, STOW ROAD,
KIMBOLTON**

**Applicant: MR PAUL SEABROOK & MR J WILBRAHAM (C/O
BLOOR HOMES)**

Grid Ref: 509692 268553

Date of Registration: 18.06.2025

Parish: 145 – KIMBOLTON

**RECOMMENDATION – POWERS DELEGATED to the
Head of Planning, Infrastructure & Public Protection to
APPROVE subject to conditions and completion of a
Section 106 obligation.**

OR

**REFUSE in the event that the obligation referred to above
has not been completed and the Applicant is unwilling to
agree to an extended period for determination; or on the
grounds that the Applicant is unwilling to complete the
obligation necessary to make the development
acceptable; or if the applicant is unwilling to agree to the
pre-commencement conditions specified in this report as
being necessary to make the development acceptable.**

**This application is referred to the Development Management
Committee (DMC) as the officer recommendation for approval is
contrary to the recommendation of Kimbolton and Stonely Parish
Council.**

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The application site is allocated for a residential development of approximately 65 homes under Policy KB 2 of the Adopted Local Plan.
- 1.2 The site lies on the northern edge of Kimbolton, fronting Stow Road. It extends to approximately 3.62 hectares and comprises arable land. The western and eastern boundaries are defined by existing hedgerows, while the southern boundary adjoins Stow Road. The northern boundary is currently open, though a small wooded copse occupies the northwestern corner and extends beyond the site. The land slopes from north to south, with a level change of approximately 8.5 metres.
- 1.3 To the southwest are 16 dwellings at Montague Gardens, with the 21-unit Kym View Close development immediately to the south. South of Stow Road are the rear gardens of properties in Aragon Place. Kimbolton village centre lies approximately 500 metres to the south and provides a range of local services and amenities.
- 1.4 The site is entirely located in Flood Zone 1 on the Environment Agency's Flood Map for Planning and the Strategic Flood Risk Assessment (SFRA 2024). A surface water channel runs through the site and the SFRA 2024 identifies this area as being at risk of surface water flooding. The site is outside the Kimbolton Conservation Area which lies approximately 500 metres to the south. The closest Listed Building is Brittens Farm to the south west of the site.

Proposed development

- 1.5 The application seeks full planning permission for 65 dwellings, together with a new vehicular access from Station Road and pedestrian access points from Station Road and Stow Road, open space, SuDs features and associated infrastructure. The proposed scheme comprises a mix of predominantly two storey detached, semi-detached and terraced dwellings together with 2 no. bungalows. Of the 65 units, 26 (40%) are proposed as affordable homes.
- 1.6 This application has been accompanied by the following documents:
 - Design and Access Statement
 - Historic Environment Desk-Based Assessment
 - Heritage Impact Assessment
 - Landscape and Visual Appraisal
 - Landscape and Visual Appraisal Figures
 - Biodiversity Net Gain Report

- Ecological Appraisal
 - Geotechnical Report
 - Arboricultural Impact Assessment
 - Noise Impact
 - Flood Risk Assessment and Drainage Strategy
 - Transport Assessment
 - Utilities Statement
 - Energy Sustainability Statement; and
 - Rapid Health Impact Assessment
- 1.7 Amendments have been received during consideration of this application, which have been consulted upon accordingly.
- 1.8 With regard to the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 the development does not meet the criteria to require a detailed screening opinion, as the application proposes less than 150 dwellings. It is therefore not anticipated that the project would have significant environmental effects and is therefore not considered to be EIA development.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (NPPF December 2024) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2024 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2024 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 The Planning (Listed Buildings and Conservation Areas) Act 1990, Planning Practice Guidance, the National Design Guide 2021, the Town and Country Planning Act 1990 (as amended) and the Environment Act 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- Policy LP1 – Amount of Development
- Policy LP2 – Strategy for Development
- Policy LP3 – Green Infrastructure
- Policy LP4 – Contributing to Infrastructure Delivery
- Policy LP5 – Flood Risk
- Policy LP6 – Waste Water Management
- Policy LP8 – Key Service Centre
- Policy LP10 – The Countryside
- Policy LP11 – Design Context
- Policy LP12 – Design Implementation
- Policy LP14 – Amenity
- Policy LP15 – Surface Water
- Policy LP16 – Sustainable Travel
- Policy LP17 – Parking Provision and Vehicle Movement
- Policy LP24 – Affordable Housing Provision
- Policy LP25 – Housing Mix
- Policy LP29 – Health Impact Assessment
- Policy LP30 – Biodiversity and Geodiversity
- Policy LP31 – Trees, Woodland, Hedges and Hedgerow
- Policy LP34 – Heritage Assets and their Settings
- Policy LP37 – Ground Contamination and Groundwater Pollution
- Allocation KB2 – North of Station Road/Stow Road, Kimbolton

Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Developer Contributions SPD (2011)
- Huntingdonshire Landscape and Townscape SPD (2022)
- Huntingdonshire Strategic Flood Risk Assessment (2024)
- Cambridgeshire Flood and Water SPD (2017)
- Annual Monitoring Review regarding housing land supply
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 9900408OUT – Erection of new farm buildings & new agricultural dwelling Rookery Farm land adj Avalon Kimbolton Road Stow Longa – Refused
- 4.2 1300512FUL - Erection of 3 wind turbines with a maximum total height to blade tip of 125m along with associated infrastructure including access tracks, crane hardstandings, control building, construction compound and meteorological mast – Refused

5. CONSULTATIONS

Initial consultation June 2025

- 5.1 Kimbolton Parish Council – recommends refusal of the above application on the following grounds:
1. Foul Water Capacity – Concerns raised over existing issues in the foul water network, including sewerage backing up during heavy rainfall and reliance on tankers.
 2. Layout and Design – The proposed layout is considered unimaginative, with standard house types that do not reflect the local character. The development is seen as dominating existing properties, with inadequate parking and no play provision.
 3. Highway Safety – No provision for safe crossing of busy roads, particularly given the expected increase in vehicle movements. Traffic calming and suitable pedestrian crossings are requested. Reference made to Highways Authority advice that further information is required before determination.
 4. Flood Risk – Concerns about increased surface water runoff affecting key junctions and routes into Stonely, particularly at the B660/Stow Road junction and along Newtown Lane.
- 5.2 HDC Environmental Health – No objection subject to condition securing noise mitigation scheme and CEMP. No further contamination investigation required.
- 5.3 HDC Urban Design – Key issues requiring further information/ amendments: Plots 1 – 13, finished floor levels, garden levels, road gradients and traffic calming measures, footpath connections, development interfaces, side surveillance windows, corner turning units, maisonette house type and cycle sheds.
- 5.4 HDC Landscape and Biodiversity Officer - broadly supports the submitted Landscape and Visual Assessment (LVA), which follows current guidance and reflects pre-application advice. While the overall landscape strategy is acceptable, enhancements are recommended to improve integration and mitigate visual impacts, particularly through strengthened structural landscaping on the northern, eastern, and western edges of the site. Additional footpath connections, improved soft landscaping, and greater planting diversity are also advised to support permeability, biodiversity, and visual quality. Concerns regarding the treatment of parking courts and SuDS design.
- 5.5 HDC Ecology Officer – Welcomes the proactive submission of Biodiversity Net Gain (BNG) information and supports recommendations to enhance boundary habitats, planting schemes, and SuDS design to maximise ecological value. Amendments to the BNG metric and mapping are required to reflect existing habitats accurately. Concerns are raised regarding potential impacts on bats due to lighting near key

habitat corridors, and further surveys or precautionary design measures are recommended to avoid harm.

- 5.6 HDC Conservation Officer – Does not support. The introduction of a large housing development on rising ground is considered to cause less than substantial harm to the setting of the Listed Buildings and the approach to the Conservation Area.
- 5.7 Local Lead Flood Authority – Object on issues relating to riparian ownership and maintenance of watercourse.
- 5.8 CCC Highways – Concerns regarding site connectivity to key destinations and recommend further investigation and improvements. The proposed layout does not currently meet adoption standards, particularly in relation to shared surface road entry and gradients. Amendments are required to meet design specifications, and a road safety audit is needed for the proposed pedestrian build-out. Additional traffic calming measures and a turning area are also recommended. Vehicle tracking for refuse vehicles is acceptable.
- 5.9 CCC Transport Assessment Team – Insufficient information to consider the application. Pedestrian connectivity to the village needs to be reconsidered to ensure safety. The applicant should also provide Welcome Travel Packs for new residents.
- 5.10 CCC Archaeology – No objection subject to condition securing archaeological investigation.
- 5.11 CCC Minerals and Waste – The site lies in Brick Clay Mineral Safeguarding Area however the site lies within the housing allocation in the Local Plan. The MWPA is content the development falls under exception (b) of Policy 5.
- 5.12 Anglian Water – Objects to any connection into the foul network from the proposed development due to capacity constraints and pollution risk. If the LPA are minded to approve, a condition is recommended requiring a strategic foul water strategy. Kimbolton WRC can accommodate the waste water flows from the proposed growth.
- 5.13 Cambridgeshire Fire and Rescue – No objection subject to planning condition for the provision of fire hydrants.
- 5.14 Cambridgeshire Constabulary - The layout is broadly acceptable in terms of crime prevention, with good natural surveillance, defensible space, and in-curtilage parking. However, concerns remain regarding plots 1–13, and further engagement with the developer is recommended to improve garden security through re-orientation.

- 5.15 East of England Ambulance Service – neither objecting or supporting the application, raising the following matters:
- The development will generation additional approximate 33 calls on already constrained ambulance services
 - Mitigation will be sought through CIL
 - Rapid Health Impact Assessment does not consider impact on ambulance service
 - Room size and layout should reflect working from home patterns since COVID-19Create sociable, accessible walkways with resting spots, wheelchair-friendly permeable paving, and inclusive cycle parking for varied cycle types.

Reconsultation September/October 2025

- 5.16 Kimbolton Parish Council – recommends refusal of the above application on the same grounds as previous consultation comments.
- 5.17 HDC Strategic Sports Development Officer – As no on-site formal outdoor sports provision is proposed, a financial contribution of £39,217.43 is required in accordance with the Playing Pitch and Outdoor Sports Strategy (PPOSS). This contribution should be directed towards priority projects in Kimbolton, including a Non-Turf Pitch and practice nets at the cricket club, improvements to football pitch quality and maintenance, and enhancements to ancillary facilities supporting formal sport.
- 5.18 HDC Arboricultural Officer - Support subject to the Tree Protection Plan provided being implemented.
- 5.19 HDC Environmental Health – no additional comments.
- 5.20 HDC Urban Design Officer – Amendments are largely supported in design terms and address previous comments raised. Seek minor amendment to location of parking in relation to plot 11 to reduce impacts. Recommend conditions to secure details of materials, architectural details, street lighting, hard landscaping including means of demarcating parking spaces, levels and cycle stores.
- 5.21 HDC Conservation Officer – Does not support. The applicant has made amendments to the proposal, including reduced building heights and revised materials, which are considered more sympathetic to the heritage context. However, concerns remain regarding the visual impact of the development on the setting of nearby Listed Buildings and the approach to the Conservation Area. The removal of hedgerows, introduction of new access points, and lack of detail on highway and SuDS works contribute to the overall harm. Tree screening is not considered sufficient to mitigate the impact, and the proposal is still regarded as harmful to the significance of the affected heritage assets.

- 5.22 Local Lead Flood Authority – Object. The revised documents do not appear to have address the points highlighted in our previous comments.

Updated comments dated 9th October 2025 – No objection in principle. The submitted documents demonstrate that surface water from the proposed development can be managed through the use of attenuation, restricting surface water discharge to 8.3l/s. Water quality has been adequately addressed when assessed against the Simple Index Approach outlined in the CIRIA SuDS Manual. Recommend conditions for detailed surface water drainage scheme, drainage during construction, checking of completed drainage and compliance with FRA and Drainage Strategy.

- 5.23 CCC Highways – Following submission of updated plans and the Transport Assessment, Highways Officers note improved connectivity and pedestrian routes. However, concerns remain regarding visibility at a proposed crossing on Newtons Lane, which requires either relocation or supporting speed survey data prior to determination. The adoption layout is broadly acceptable subject to construction to HERCS standards. Further clarification is needed on visibility splays for a secondary access and refuse tracking, and private footways connecting to the highway must meet adoptable standards. Traffic calming measures are now incorporated and supported.

Updated comments dated 30th October 2025: Highway Authority confirms the amended plans meet design standards, including junctions, visibility, crossings, refuse tracking, and traffic calming. No objection subject to conditions.

- 5.24 CCC Transport Assessment Team – does not wish to objection subject to conditions securing off-site highway improvements on Station Road and uncontrolled pedestrian crossings on Station Road and Newtown Lane and the provision of Welcome Travel Packs.

- 5.25 Anglian Water – Objection maintained. No new issues raised.

Officer comment: Anglian Water has since confirmed that the local network currently has capacity constraints, and there is no network scheme planned for AMP8 (2025–2030). As a result, Anglian Water have been unable to provide the site with a sustainable point of connection.

However, Anglian Water has expressed that they would be willing to work with the applicant to explore the removal of surface water. This approach would ensure that the site does not introduce any additional flow, as the removal of existing surface water connections would offset the foul flows generated by the development. The investigations and delivery of the strategy would be at the developers cost, however, Anglian Water would work with them to ensure the site remains viable.

Anglian Water therefore recommend that, if planning permission is granted, a condition is included requiring the applicant to work with Anglian Water on this strategy and ensuring that no occupation occurs prior to the successful delivery of the agreed solution.

5.26 Cambridgeshire Constabulary – no additional comments.

5.27 CCC Archaeology – We previously wrote to recommend that archaeological investigation of the proposed development should be secured by inclusion of a suitable condition. Since giving that advice the applicant has commissioned and undertaken archaeological evaluation demonstrating a low level of archaeology across the redline including field systems peripheral to settlement. We would not recommend further archaeological fieldwork, the report for the work already undertaken has been approved and archiving arrangements have been commenced. Therefor the archaeological condition is no longer needed.

6. REPRESENTATIONS

Initial consultation June 2025

31 representations received from 26 addresses in objection raising the following matters:

- Impact on local infrastructure
- Strain on public services
- Increased flood risk
- Impact on village character
- Overlooking and loss privacy to properties to the south
- No clear evidence of local need for housing at this scale in this location
- Piecemeal approach to development
- Highway safety issues
- Traffic calming measures required
- Safe pedestrian crossing points needed
- Existing sewage back up and flooding issues
- Existing parking issues worsened
- Layout and density not in keeping with local area
- Impact on heritage assets
- Adverse landscape and visual impacts
- Noise and pollution
- No noise mitigation for existing homes
- Existing ditches unmaintained
- Loss of countryside
- Loss of biodiversity
- Cumulative impacts of new development in Kimbolton not considered
- Pressure on utilities (electricity and water)
- Overdevelopment

- Proposed development larger than that defined in local plan
- Urbanising impact
- Foul water drainage proposal unacceptable
- Existing speeding issues in the village

Kimbolton Primary School:

- Supportive of small development in this area
- Number role is steadily declining and without increase in pupil numbers could see decline in quality of education provided
- Longer term viability of school is a concern
- Could accommodate approx. 40 pupils but insufficient space for much more than this without investment

Reconsultation September 2025

28 representations received from 23 addresses in objection raising the following matters:

- Foul drainage concerns remain
- Overlooking and loss of privacy
- Noise impact on existing properties
- Traffic and highway safety
- Increased flood risk
- Loss of wildlife
- Impact on existing services and infrastructure
- Loss of agricultural land
- Adverse impact on heritage assets
- Loss of ridge and furrow
- Surface water flood issues
- Loss of village character and views
- The site sits around 13m above Stow Road, meaning new houses will dominate the landscape
- Cumulative impacts ignored
- Adverse landscape and visual effects
- Existing parking issues in village worsened
- Lack of public transport
- Development should be brownfield land not greenfield land
- Impact on quality of life for existing residents
- Human Rights Act should be considered
- Lack of employment opportunities for future residents other than by car

7. ASSESSMENT

7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.

7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act

1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within the NPPF (2024). The development plan is defined in Section 38(3)(b) of the 2004 Act as “the development plan documents (taken as a whole) that have been adopted or approved in that area”.

- 7.3 In Huntingdonshire the Development Plan (relevant to this applications) consists of:
- Huntingdonshire’s Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
- 7.4 The statutory term ‘material considerations’ has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider in the determination of this application are:
- Principle of Development
 - Design, Visual Amenity and Landscaping
 - Housing Mix including affordable housing
 - Impact on Heritage Assets
 - Residential amenity
 - Foul Drainage
 - Flood Risk and Surface Water Drainage
 - Highway Safety, Access and Parking Provision
 - Biodiversity and Ecology
 - Trees and Hedgerow
 - Developer Contributions
 - Other Matters

Principle of Development

Housing Land Supply

- 7.6 NPPF paragraph 78 requires the Council to identify and update annually a supply of specific deliverable sites sufficient to provide a minimum of five years’ worth of housing against our housing requirement. A substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements was introduced

on 12th December 2024 in the revised NPPF and associated NPPG (the standard method).

- 7.7 As Huntingdonshire's Local Plan to 2036 is now over 5 years old it is necessary to demonstrate a five-year housing land supply (5YHLS) based on the housing requirement set using the standard method. NPPF paragraph 78 also requires provision of a buffer to ensure choice and competition in the market for land. As Huntingdonshire has successfully exceeded the requirements of the Housing Delivery Test a 5% buffer is required here. The 5-year housing land requirement, including a 5% buffer, is 5,907 homes. The current 5YHLS is 4,345 homes, equivalent to 3.68 years' supply.
- 7.8 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'. While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.
- 7.9 The majority of the application site is allocated under policy KB2 of Huntingdonshire's Local Plan to 2036. Allocation KB2 stands as adopted in the Local Plan and is not considered to be out of date. Policy Allocation KB2 is therefore afforded significant weight in the determination of this planning application.

Location and suitability of the site

- 7.10 The presumption in favour of sustainable development is clearly outlined within the NPPF, with the goal of creating positive improvements in the quality of the built, natural and historic environment, which includes widening the choice of high-quality homes.
- 7.11 Policy LP1 sets out the amount of development the Local Plan seeks to address having regard to the objectively assessed need for development in Huntingdonshire. Paragraph 4.4 of the Local Plan confirms that allocated sites are included to promote the deliverability of the strategy.
- 7.12 Kimbolton is classified in policies LP2 and LP8 as a Key Service Centre and thus is one of the district's sustainable centres which can accommodate growth. Policy LP2 explains that approximately one quarter of the objectively assessed need for housing and limited employment and retail growth will be focussed in Key Service Centres and Small Settlements.

Paragraph 4.98 in the supporting text to Policy LP8 notes that Key Service Centres have a role in meeting the development needs of the district and supporting the economic vitality of these settlements through a series of allocations for new development.

- 7.13 Policies LP2 and LP8 are within the Development Strategy chapter of Huntingdonshire's Local Plan to 2036, and are therefore considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications for residential development. Notwithstanding this, weight should still be given to Policies LP2 and LP8 given that they direct development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities which is consistent with the NPPF 2024.
- 7.14 The majority of the application site is allocated for residential development under site-specific allocation policy KB2 of the Local Plan which allocates:
“2.5ha of land at North of Station Road/Stowe Road, Kimbolton is allocated for residential development of approximately 65 homes. Successful development of the site will require.
a. provision of safe and suitable vehicular and pedestrian access
b. a comprehensive soft landscaping scheme including planting along the highway frontage
c. provision of a surface water drainage strategy that responds to the sloping topography of the land
d. an ecological assessment and enhancement scheme.”
- 7.15 The criteria set out in Policy KB2 will be addressed elsewhere in this report: part a) under the section ‘Highway Safety, Access and Parking Provision’, part b) within this section and ‘Design, Visual Amenity and Landscaping’, part c) under the section titled ‘Flood risk and Surface Water Drainage’ and part d) under the Section titled ‘Biodiversity and Ecology’.
- 7.16 This application proposes 65 dwellings which is consistent with the allocation and as stated above, the majority of the development falls within the KB2 allocation site boundary. Site Allocation Policy KB2 is considered to carry significant weight in the assessment of this application.
- 7.17 However, the proposed red line site boundary extends northwards beyond the KB2 allocation boundary by approximately 1 hectare, encompassing additional land within the existing field. This extension allows the development to better respond to the site's topography. As a result, the proposal would lead to the loss of unallocated agricultural land. Policy LP10 of the Local Plan, which relates to the protection of the best and most versatile agricultural land, applies only to this additional area beyond the KB2 allocation. The principle of development and associated loss of agricultural land within the KB2 allocation has already been considered and accepted through the Local

Plan process. Therefore, the assessment under LP10 is limited to the additional land in the red line site boundary outside the allocation boundary.

- 7.18 Policy LP10 is within the Development Strategy chapter of Huntingdonshire's Local Plan to 2036, and is therefore considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications for residential development. Notwithstanding this, weight should still be given to Policy LP10 especially in relation to criteria (a) to (c) as it is consistent with the NPPF. However, the part of Policy LP10 which restricts residential development in the countryside is to be given reduced weight. This means that any residential development on land in the countryside may be acceptable in principle subject to other material planning considerations.
- 7.19 Policy LP10 seeks to use land of lower agricultural value in preference to land of higher agricultural value by avoiding the irreversible loss of the best and most versatile agricultural land (Grade 1 to 3a) where possible.
- 7.20 Section 8 of the submitted Planning Statement includes an Agricultural Land Statement, which identifies the site as Grade 3 agricultural land with a low likelihood of being classified as Best and Most Versatile (BMV). The proposed development would result in the loss of approximately 1 hectare of agricultural land. This loss is not considered significant when viewed in the context of the district's overall extent of BMV land, and the proposal would not impede the continued agricultural use of the wider field. Nevertheless, the permanent loss of land capable of supporting food or crop production does represent a minor conflict with Policy LP10, part a)(i).
- 7.21 Policy LP10 also states development in the countryside must:
- b. recognise the intrinsic character and beauty of the countryside; and
 - c. not give rise to noise, odour, obtrusive light or other impacts that would adversely affect the use and enjoyment of the countryside by others.
- 7.22 The proposed site boundary has been extended beyond the allocation boundary to follow the natural contour lines of the land rather than the rigid angle of the KB2 allocation boundary. This approach minimises the need for hard engineering solutions to grade the northern edge of the site. A development of approximately 65 dwellings strictly in accordance with the KB2 allocation boundary with comprehensive landscaping scheme would be challenging to achieve given the significant level differences across the site.
- 7.23 A landscape buffer measuring between 15 to 25 metres is proposed along the northern boundary to support the integration

of the development into the surrounding landscape. Additionally, further tree planting is proposed along the northwestern boundary (approx. 10 metre buffer) to connect with the existing copse and continue the tree screening along that edge. The submitted Landscape and Visual Impact Assessment concludes at paragraph 7.7 that *'the site and the immediate landscape could accommodate change as presented by the proposed development and would not result in any long-term major landscape or visual effects.'* Amendments have been made to the scheme to respond to feedback from HDC's Landscape Officer, namely improvements to the site layout, SuDS design and soft landscaping. It is considered that the more sinuous site boundary proposed relates better to the landscape and land contours than the rigid angle of the KB2 allocation boundary and together with the landscape buffers proposed, minimises longer distance visual impacts. As such, the proposal would not conflict with LP10 part b).

- 7.24 Policy LP10(c) requires that proposals do not give rise to noise, odour, obtrusive light, or other impacts that would adversely affect the use and enjoyment of the countryside. Matters relating to noise, lighting, and other amenity impacts are addressed later in this report. However, it is considered that the objectives of Policy LP10(c) can be satisfactorily secured through the use of planning conditions. On this basis, the development is not expected to result in harm to the use or enjoyment of the countryside.
- 7.25 The proposed development is considered to be in accordance with the KB2 allocation in terms of quantum, use, and location and therefore the principle of residential development in this location is established and acceptable under Allocation Policy KB2. A minor conflict arises with Policy LP10(a), as the site boundary extends slightly further north beyond the allocation boundary. However, this extension enables the provision of a wider landscape buffer along the northern edge, enhancing the interface with the countryside. This matter will be considered further in the planning balance section of this report.

Design, Visual Amenity and Landscaping

- 7.26 Policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036 state that developments should respond positively to their context, draw inspiration from the key characteristics of its surroundings and contribute positively to the area's character and identity. Policy LP10 is also relevant as referenced above.
- 7.27 The proposed development comprises a linear perimeter block arrangement, with dwellings facing the southern and northern boundaries of the site with back-to-back rear gardens. A substantial landscape buffer is proposed along the northern and northwestern edge of the site, measuring approximately 15

metres in width and widening to 25 metres in the northwestern corner incorporating woodland and tree planting and an informal footpath. The western boundary retains an existing woodland copse, which is to be enhanced with a 10-metre landscape buffer extending southwards. Along the southern edge, development is set back from Stow Road and Station Road, behind a combination of retained and new hedgerow planting, attenuation basins, linear swales, informal open space, a footpath, and proposed tree planting. This arrangement provides a soft edge to the proposed development.

- 7.28 Primary vehicular access is proposed from Station Road at the southwest corner of the site, where the change in levels is less pronounced/ Pedestrian connections are also provided to both Station Road and Stow Road, supporting permeability and access.
- 7.29 As set out earlier in this report, the proposed site boundary and layout reflects a landscape-led approach, responding to site topography and existing features, while ensuring appropriate separation distances and amenity provision for future residents.
- 7.30 The proposed units are two storeys in height, consistent with the surrounding built context. The scheme includes a mix of house types and sizes, ranging from smaller one-bedroom maisonettes to larger four- and five-bedroom family homes. The submitted Materials Plan indicates the material palette which is a mixture of buff and multi buff coloured stock brick, with red brick for key plots and off white render for elements of some plots and roof tiles are mock slate, however colour of the roof tiles should be confirmed by way of condition. HDC's Urban Design Officer considers that the proposed materials are acceptable and similar to existing buildings within Kimbolton.
- 7.31 The application includes a detailed soft landscaping scheme which as previously mentioned, includes substantial landscape buffer to the site boundaries. It also includes landscaped front gardens and amenity spaces and native hedge planting along the back edge of the northern and southern roads, separating the highway from the perimeter open spaces. A condition is recommended to require compliance with the detailed soft landscaping scheme and to secure a landscape management plan.
- 7.32 In terms of hard landscaping, it is recommended that conditions be imposed to secure details of shared surface roads, private drives, and individual parking areas, including laying pattern, colour, and manufacturer. Conditions should also cover the demarcation of parking spaces within shared side drives and on-street locations.
- 7.33 Taking all of the above into consideration, and subject to the

above recommended conditions, it is considered that the proposal would not have not have an adverse impact on the area's character and would successfully integrate with adjoining buildings, the topography and surrounding landscape. The proposed development would accord with Policies KB2 part b), LP11 and LP12 of Huntingdonshire's Local Plan to 2036 and the Huntingdonshire Design Guide SPD.

Housing mix including Affordable Housing

- 7.34 The Cambridge sub-region Strategic Housing Market Assessment (SHMA) 2013 provides guidance on the mix of housing required for Huntingdonshire up to 2031. This gives broad ranges reflecting the variety of properties within each bedroom category. This indicates a requirement for the following mix: up to 4% 1-bedroom homes, 16-42% 2-bedroom homes, 26-60% 3-bedroom homes and up to 30% 4 or more-bedroom homes.
- 7.35 The Cambridgeshire and West Suffolk Housing Needs of Specific Groups report was released in October 2021. This indicates a requirement for the following mix: up to 10% 1-bedroom homes, 20-30% 2-bedroom homes, 40-50% 3-bedroom homes and 20- 30% 4 or more-bedroom homes.
- 7.36 The proposed development includes a mix of 1, 2, 3, 4 and 5 bed homes which broadly aligns with the requirements above and will contribute to the creation a sustainable, inclusive and mixed community in the locality.
- 7.37 With regard to the development meeting the requirements of Policy LP25 criteria f to h, the majority of the proposed dwellings are capable of meeting the requirements of M4(2) and there are four M4(3) wheelchair adaptable dwellings (Plots 10, 11, 23 and 53) proposed. It is recommended that conditions be imposed to secure these requirements. There are two first floor maisonettes which would only meet M4(1) requirements. The only aspect which they fail M4(2) requirements is that they do not provide level step free access or a second route of exit which is considered a minor conflict with Policy LP25 in this regard.
- 7.38 The requirements within policy LP12 of Huntingdonshire's Local Plan to 2036 relating to sustainable design and construction methods are applicable to all new dwellings. This states that all dwellings should meet Building Regulation requirement Approved Document G for water efficiency. It is considered that the dwellings are capable of meeting this requirement, achieving a water efficiency of 125L per day per person. A condition will be attached to ensure that the dwellings are built in compliance.
- 7.39 Policy LP24 of the Local Plan states a proposal will be supported where:

- a. it delivers a target of 40% affordable housing on a site where 11 homes or 1,001m² residential floorspace(gross internal area) or more are proposed;
 - b. it provides approximately 70% of the new affordable housing units as social or affordable rented properties with the balance made up of other affordable tenures;
 - c. affordable housing is dispersed across the development in small clusters of dwellings; and
 - d. it ensures that the appearance of affordable housing units is externally indistinguishable from that of open market housing.
- 7.40 The application proposes a policy compliant level of affordable housing (26 dwellings) which would be a mix of 1, 2, 3 and 4 bedroom dwellings. These are somewhat dispersed on the site, with the majority located in the north eastern part of the site and a few units sited more centrally in the site. There is some cross over in house types with the affordable housing and market housing, such that it is not considered that there would be a distinguishable external appearance.
- 7.41 The Affordable Housing Officer has worked closely with the applicant and planning officer to secure the affordable housing provision and mix. It is considered that the affordable housing provision accords with the aims of Policy LP24 subject to securing the affordable housing through a Section 106 agreement.

Impact on Heritage Assets

- 7.42 Policy LP34 of the Local Plan states that great weight and importance should be given to the conservation of heritage assets.
- 7.43 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 sets out that 'with respect to any buildings or other land in a conservation area... special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.'
- 7.44 The proposal site lies near to the Listed Buildings Brittens Farmhouse, Station Road (Grade II); Wornditch Farmhouse, Station Road (Grade II) and Granary at Wornditch Farm (Grade II). The proposal site lies outside the Conservation Area.
- 7.45 The group of 17th century Listed Buildings (Brittens Farmhouse, Wornditch Farmhouse and the Granary at Wornditch Farm) lie to the south east of the proposal site, on lower ground which slopes gradually down towards the River Kym further to the south east. Because of the ground levels the proposal site is in view from the Listed Buildings and forms the backdrop and wider setting within which they are experienced. The proposal site lies along Station Road from which driveways lead to the Listed Buildings.

- 7.46 While the site is not directly adjacent, its open agricultural character contributes to the wider rural setting and significance of these heritage assets. The Conservation Officer considers that the introduction of residential development of this scale on rising ground would cause harm to the setting of the Listed Buildings and the approach to the Conservation Area. The Conservation Officer does not support the proposal due to its adverse impact on the historic environment, however does acknowledge that the site incorporates Site Allocation KB2 and housing development may provide a public benefit. The proposed development has sought to minimise the impact on these heritage assets, through the use of sympathetic materials, reduced heights near the entrance of the site with the provision of bungalows and the retention of existing vegetation, and provision of new landscaping to the south and western boundary to soften the development in public views and from the affected Listed Buildings
- 7.47 In accordance with paragraph 215 of the NPPF 2024, where a proposal would lead to less than substantial harm to the significance of designated heritage assets, this harm must be weighed against the public benefits of the proposal. This assessment will be considered in the overall planning balance. In summary, it is considered that there would be conflict Policy LP34 of the Local Plan and the NPPF 2024 as the proposed development would result in less than substantial harm to the setting of Listed Buildings and the setting of the Conservation Area. This harm is considered to fall at the lower end of the scale given the site is not directly adjacent to the Listed Buildings or within the Conservation Area, but it nonetheless contributes to the wider setting and significance of these heritage assets.
- 7.48 The proposed development is situated within an area of archaeological potential, located north of the historic settlement of Newton and Kimbolton, and south of the River Kym. Following the submission of an archaeological investigation, Cambridgeshire County Council's Archaeology team has advised that the site demonstrates a low level of archaeological interest, with evidence limited to field systems on the periphery of settlement. As such, no further archaeological fieldwork is required.

Residential Amenity

- 7.49 Local Plan Policy LP14 supports proposals only where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.50 A number of representations have been received from neighbouring residents raising concerns regarding overlooking

and loss of privacy, noise impacts and dominance due to land levels. These matters are acknowledged and are considered in detail within the relevant sections of this report.

Neighbouring properties

- 7.51 The closest existing residential properties are to the south of site – Nos 1 and 8 Montagu Gardens, Nos 1 – 9 Aragon Place and Nos 12, 14, 16, 27 and 29 Stow Road. The proposed dwellings on the southern part of the site would be separated from the existing dwellings to the south by Stow Road, hedgerow and tree planting, proposed drainage features and the internal access road. The closest relationship is between Plot 1 and 8 Montagu Gardens, with an approximate separation distance of 40 metres. All other existing and proposed dwellings are set further apart (between approximately 50 and 66 metres). Concerns have been raised through representations regarding land levels and potential overlooking or loss of privacy. Section drawings have been submitted to illustrate the relationship between the proposed and existing dwellings. Having reviewed these drawings, it is considered that the levels, combined with the separation distances and intervening landscaping, would not result in detrimental overlooking or an overbearing impact on existing properties. Whilst development of the application site would change the nature of outlook of some existing properties to the south of the site, it is noted from Case Law that a private view is not something which can be protected within the planning system.

Amenity for future occupiers

- 7.52 The proposed development has been designed to ensure a high standard of amenity for future occupiers. Each dwelling would benefit from sufficient external amenity space appropriate to its size and type. The layout also ensures appropriate back-to-back separation distances between proposed dwellings are sufficient to prevent harmful overlooking and maintain privacy between neighbouring plots. The arrangement of dwellings, combined with proposed boundary treatments and landscaping, is considered to provide an acceptable living environment without undue dominance or loss of privacy.
- 7.53 Proposed finished floor levels (FFLs) have been provided and appear acceptable in relation to the existing site contours. Notwithstanding this, it is recommended that a condition be imposed requiring confirmation of proposed ground levels for roads, driveways/parking areas, open spaces, and rear gardens. This will ensure that level changes are clearly understood for each plot and in relation to surrounding off-site levels. Furthermore, details of retaining structures which are proposed within gardens and the public realm should also be secured by way of condition.

Noise

- 7.54 The “Environmental Noise Survey” by Noise.co.uk Ltd (report reference 23045-1, dated 28 May 2025) identifies that most of the proposed dwellings would meet the critical noise guidelines for gardens during the day and bedrooms during the night, however, the dwellings that face the road to the south would exceed on both accounts. Therefore, the Environmental Health Officer has requested a condition requiring the submission of a noise mitigation scheme. Subject to this, it is considered that there would not be unacceptable noise impacts on future occupants in accordance with Policy LP14.
- 7.55 Representations have been received raising concerns about potential noise impacts on existing properties arising from the proposed development. The application includes measures to mitigate noise for future occupiers, ensuring an acceptable residential environment. However, it is not considered that the development would result in significant noise impacts on existing dwellings given that in land use terms new residential development is compatible in principle with existing residential development. The anticipated increase in traffic associated with the residential use is not expected to generate a material rise in road noise levels.
- 7.56 Due to the nature and size of the proposals and the proximity to existing residential properties, the Environmental Health Officer has advised that a Construction Environmental Management Plan (CEMP) is required and it is recommended that this is conditioned.

Contamination

- 7.57 In terms of land contamination, the submitted geotechnical investigation has been reviewed by HDC’s Environmental Health Officer, and the potential sources of contamination are considered minor and do not warrant further contamination investigation.

Health

- 7.58 Policy LP29 states a proposal for large scale development will be supported where it can be demonstrated that the design of the scheme has been informed by the conclusions of a rapid Health Impact Assessment. A ‘Rapid Health Impact Assessment Matrix’ has been submitted with the application. This demonstrates that the proposed development satisfies the requirements of Policy LP29 of the Local Plan as the scheme would have a positive impact on health outcomes.

Summary

- 7.59 In light of the above assessment, subject to appropriate conditions the proposed development is considered capable of safeguarding the amenities of existing occupiers and providing acceptable living conditions for future occupiers in compliance with Policy LP14 of the Huntingdonshire Local Plan to 2036 and paragraph 124 of the NPPF (2024).

Foul Drainage

- 7.60 Policy LP6 of the Local Plan sets out the approach necessary to ensure that waste water capacity is maintained through the plan period.

- 7.61 Policy LP6 states:
“A proposal for major scale development that would:
a. require a new connection to the sewer network;
b. involve significant increases to flows entering the sewer network; or
c. involve development of a site identified by the Huntingdonshire Stage 2 Detailed Water Cycle Study or updated, successor or equivalent documents, to have potentially limited sewer network capacity (Amber or Red assessment);
will only be supported where a sustainable foul/ used water strategy has been prepared and agreed with Anglian Water as the sewerage undertaker to establish whether any upgrades are necessary so that flows from the proposal can be accommodated. If upgrades are necessary the proposal will need to include an agreed plan for delivery, including phasing of development as necessary.”

- 7.62 Paragraph 201 of the National Planning Policy Framework (2024) states the focus of planning decisions should be on whether proposed development is an acceptable use of land, rather than the control of processes or emissions (where these are subject to separate pollution control regimes). Planning decisions should assume that these regimes will operate effectively.

- 7.63 In terms of foul drainage, Section 5 of the FRA and drainage strategy states that foul water is proposed to discharge into the existing foul sewerage system. Anglian Water has advised that the Kimbolton Waste Water Recycling Centre has sufficient capacity to treat the proposed flows. However, Anglian Water initially raised an objection to any direct connection into their foul network due to current capacity constraints and the associated risk of pollution. The capacity constraints relates to the terminal pumping station in Kimbolton meaning that any additional flow would increase the risk of further spills and pollution.

- 7.64 The applicant has presented several options to Anglian Water to address this issue. Although there is no network scheme planned for AMP8 (2025–2030), Anglian Water has indicated a willingness to work with the applicant to explore the removal of surface water from the site. Potential solutions could include an on-site approach to temporarily retain flows during periods of heavy rainfall, helping the downstream network manage capacity, or an off-site solution that diverts stormwater away from the combined sewer into a suitable ditch or watercourse.
- 7.65 Anglian Water has confirmed that this approach would ensure that the site does not introduce any additional flow, as the removal of existing surface water connections would offset the foul flows generated by the development. The investigations and delivery of the strategy would be at the developers cost, however, Anglian Water would work with them to ensure the site remains viable. Anglian Water therefore recommend that, if planning permission is granted, a condition is included requiring the applicant to work with Anglian Water on this strategy and ensuring that no occupation occurs prior to the successful delivery of the agreed solution.
- 7.66 Officers are satisfied that the applicant and Anglian Water have provided sufficient information to demonstrate that a technical solution is achievable to ensure the proposed development can remain safe for its lifetime. The implementation of this solution would fall under the responsibility of Anglian Water and the applicant and/or other statutory control regimes.
- 7.67 To secure this, a Grampian condition is recommended requiring the submission and approval of a foul water drainage strategy. A Grampian condition prevents development from starting or being occupied until specified off-site works or measures have been completed. Subject to this condition, the proposed development would be safe for its lifetime and would not exacerbate foul water network capacity constraints or give rise to pollution risks.
- 7.68 It is acknowledged that concerns have been raised regarding existing sewage and drainage issues in the area by both the Parish Council and residents. While these are noted, it is important to clarify that the scope of this planning application is limited to mitigating the impacts arising directly from the proposed development. The responsibility for addressing wider, pre-existing issues relating to sewer capacity and maintenance lies with Anglian Water as the statutory undertaker. The proposed development must demonstrate that it can be accommodated without exacerbating existing problems, and the recommended condition requiring a detailed foul water drainage strategy is intended to ensure that any new connections or arrangements are sustainable and appropriately managed. The recommended condition would need to be discharged prior to the commencement of development, and Anglian Water would be

part of the decision-making in considering the acceptability or otherwise of the submitted details.

- 7.69 Subject to the imposition of the recommended condition, the proposed development would accord with Policy LP6 of the Local Plan.

Flood Risk and Surface Water Drainage

- 7.70 Policy LP5 of the Local Plan sets out that a proposal will only be supported where all forms of flood risk have been addressed. Furthermore, Policy LP15 sets out the Council's approach to surface water management. Policy Allocation KB2 requires '*c. provision of a surface water drainage strategy that responds to the sloping topography of the land*'.
- 7.71 The application is supported by a Flood Risk Assessment (FRA) and Drainage Strategy (Revision D) dated October 2025.
- 7.72 The site is entirely located in Flood Zone 1 on the Environment Agency's Flood Map for Planning and the Strategic Flood Risk Assessment (SFRA 2024) and is therefore at low risk of fluvial flooding.
- 7.73 A surface water channel runs through the site and the SFRA 2024 identifies this area as being at risk of surface water flooding. Section 4.3 of the submitted FRA and Drainage Strategy outlines the proposed surface water drainage approach for the site. This would include a system of underground pipes and three attenuation basins designed to temporarily store water during periods of heavy rainfall. In the eastern part of the site, swales would be used to direct surface water in line with the natural land contours. A ditch would also be constructed along the northern boundary to intercept and divert water flowing from outside the development, ensuring it remains separate from the proposed drainage system. This strategy would ensure that surface water generated by the development is effectively managed, reducing flood risk and protecting the surrounding area. Following revisions to the scheme, the Lead Local Flood Authority (LLFA) has withdrawn its objection and confirmed that surface water could be managed through attenuation measures, with discharge restricted to 8.3 litres per second. It is recommended that conditions be imposed to secure a detailed surface water drainage scheme, arrangements for drainage during construction, verification of the completed system, and compliance with the submitted FRA which details the proposed drainage maintenance arrangements.
- 7.74 Concerns have been raised by the Parish Council and neighbouring residents regarding existing flooding issues in the area and the potential for increased surface water run-off as a result of the proposed development. However, the submitted

drainage strategy has been reviewed and agreed in principle by the LLFA, who have confirmed that the development is capable of managing its own surface water through attenuation measures. It is important to note that this application is not required to resolve pre-existing flooding problems in the wider area, but rather to demonstrate that it can mitigate its own impact effectively.

- 7.75 Subject to the imposition of conditions as set out above, the proposal is acceptable with regard to flood risk and drainage and complies with Policies KB2 part c), LP5, and LP15 of the Local Plan.

Highway Safety, Access and Parking Provision

- 7.76 Policy LP 16 and LP 17 require development to promote sustainable modes of travel, provide adequate parking provision and safe movement of vehicles. Policy Allocation KB2 requires *'provision of safe and suitable vehicular and pedestrian access.'*
- 7.77 The proposed development includes a single point of vehicular access from Station Road, along with two separate pedestrian access points. The main vehicular access would take the form of a 5.5-metre-wide priority T-junction with 6-metre kerb radii. Drawing number 29006 – TA01 demonstrates that visibility splays of 2.4 metres by 108 metres to the north-west and 2.4 metres by 112 metres to the south-east can be achieved from the site access. In addition, a private drive is proposed approximately 40 metres west of the main access, serving two residential dwellings.
- 7.78 As there is currently no pedestrian footpath along the site frontage on the B660 Station Road, a dropped kerb crossing with tactile paving would be provided to link with the existing footpath on the opposite side of the carriageway, approximately 50 metres east of the proposed access. This would be accessible via a break in the existing hedgerow. In response to comments from Cambridgeshire County Council Highways, a further pedestrian connection is proposed along the southern boundary of the site to link with the existing footpath network on Aragon Place.
- 7.79 In addition to the above and to improve connectivity, off-site improvements to the existing pedestrian infrastructure are proposed. These measures are intended to enhance safe and convenient access to and from the site for future residents, particularly for those travelling on foot:
- Widening a circa 140m section of footway on the western side of Station Road, between Kym View Close and the proposed uncontrolled crossing, to provide a width of 2m;

- Provision of an uncontrolled pedestrian crossing point further south on Station Road, to assist with pedestrian movements to the village centre via Newtown Lane, and;
- Provision of an uncontrolled pedestrian crossing point on Newtown Lane adjacent to PRow 138/23, to allow pedestrians to cross to the southern side of Newtown Lane for journeys to Kimbolton Primary School.

7.80 The Transport Assessment Team (TA Team) at Cambridgeshire County Council has raised no objection to the proposed development, subject to the delivery of the off-site highway improvement works outlined above. The TA Team have also requested the inclusion of travel information packs for new residents. Accordingly, conditions are recommended to secure these measures.

7.81 A Transport Assessment (TA) has been submitted in support of the application. The proposed development is predicted to generate 46 new vehicle trips in the morning peak period and 39 new vehicle trips in the evening peak period. The TA confirms that the trip generation projected by the future residents would not result in an unacceptable impact on highway safety or result in a severe impact upon the local road network.

7.82 Representations received have raised concerns regarding existing issues with vehicles exceeding speed limits in the vicinity of the site. The Parish Council has also requested the implementation of traffic calming measures to address these concerns. While these matters are acknowledged, the Highway Authority has raised no objection to the proposed development on these grounds. The review and setting of speed limits, as well as the implementation of traffic calming measures, fall within the remit of the Highway Authority and are governed by separate legislative and procedural frameworks outside of the planning application process.

7.83 The proposed car and cycle parking provision is considered compliant with Policy LP17 with regards to the quantum, type and distribution of car and cycle parking, including visitor provision.

7.84 In light of the above and subject to appropriate conditions, the proposed development is considered capable of according with Policies LP16, LP17 and KB2 part a) of the Local Plan and section 9 of the NPPF (2024) in terms of highway safety, access and parking provision.

Biodiversity and Ecology

7.85 Local Plan Policy LP30 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated; to ensure no net loss in biodiversity; and

provide a net gain where possible, through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type, and location of development. This mirrors the ecological and environmental policies set out at Section 15 of the NPPF (2024). Furthermore, Policy Allocation KB2 requires '*d. an ecological assessment and enhancement scheme.*'

- 7.86 The application is supported by an Ecological Appraisal dated October 2025 and a Biodiversity Net Gain Assessment dated October 2025.
- 7.87 The site generally offers limited opportunities for protected species and no evidence of any such species was recorded during the survey work. However, it is likely that birds nest within suitable habitat at the site and could therefore potentially be adversely affected by the proposals and therefore appropriate mitigation measures have been recommended within the report. A condition is recommended to ensure these mitigation measures are implemented.
- 7.88 Third-party data referenced in the Ecological Appraisal confirmed the presence of bat records within 1km of the site, indicating a potential for bats to be present on-site. The Ecology Officer raised concerns regarding the interface between proposed dwellings and private gardens along the western boundary, specifically in relation to light spill affecting both retained and newly created habitats. Adopting a precautionary approach by assuming bat commuting and foraging activity along boundary features and within woodland habitat, a minimum separation of 5 metres is now proposed between Plots 9 and 10 the western boundary to establish a dark corridor and buffer zone. To further mitigate potential impacts, a planning condition is recommended requiring submission of a detailed lighting scheme. This scheme would need to demonstrate how light spill will be minimised onto retained woodland and newly created habitats.
- 7.89 In accordance with Schedule 7A of the Town and Country Planning Act 1990, as inserted by the Environment Act 2021 and amended by the Levelling Up and Regeneration Act 2023, this development is subject to the mandatory requirement to deliver at least a 10% Biodiversity Net Gain (BNG). The applicant has gone beyond the scope of the statutory requirements by providing the post-development biodiversity value and plans prior to determination. Following amendments to address feedback from HDC Ecology Officer, the revised BNG metric submitted indicates a net habitat biodiversity unit change for the proposals within the site boundary of +1.22 Habitat Units (representing a calculated gain of 13.77%), +5.04 Hedgerow Units (representing a calculated gain of 205.44%) and +0.35 Watercourse Units (representing a calculated gain of 12.95%). A BNG condition is recommended to secure this net gain.

- 7.90 Subject to the recommended conditions, the proposed development is considered to comply with Policies LP30 and Policy Allocation KB2 part d) of the Local Plan and the NPPF 2024.

Trees and Hedgerow

- 7.91 Policy LP31 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development.
- 7.92 The application is supported by an Arboricultural Impact Assessment dated October 2024 which sets out the proposed removal of one low quality tree and three sections of hedgerow. All significant tree cover is proposed to be retained as part of the proposed development and the loss would be compensated for with replacement planting.
- 7.93 HDC's Arboricultural Officer supports the proposed development as the impact on existing trees is minimal and they can be successfully protected using fencing to create Construction Exclusion Zones which would need to remain in place throughout the process and only be removed once works are completed. A condition is recommended to ensure compliance with submitted AIA. It is therefore considered the proposed development complies with Policy LP31 of the Local Plan.

Developer Contributions

- 7.94 Statutory tests set out in the Community Infrastructure Regulations 2010 (Regulation 122) require that S.106 planning obligations must be necessary to make the development acceptable in planning terms, directly related to the development and fairly and reasonably related in scale and kind to the development. S.106 obligations are intended to make development acceptable which would otherwise be unacceptable in planning terms.
- 7.95 Without prejudice to the eventual determination of the planning application, negotiations have been held with the Applicant in order to determine the extent of the obligations required to make the development acceptable. These negotiations have been held in line with the advice within the Regulations and the outcome is summarised below.
- 7.96 Open Space: Policies LP3 and LP4 of Huntingdonshire's Local Plan to 2036 and Part B of the Developer Contributions SPD requires proposals to provide land for informal green space. In

accordance with the Developer Contributions SPD, 65 dwellings generates a requirement for 3018sqm of informal green space including 1552sqm of amenity green space. The informal green space proposed exceeds the SPD requirements comprising approximately 4,490m² of amenity grassland which encircles the built form amounting to approximately 12% of the site area.

- 7.97 The Developer Contributions SPD details a cascade mechanism for future management and maintenance of informal green space with the land first offered to the Town/Parish Council for adoption, then the District Council and then taken on by a Management Company. The usual cascade mechanism in the SPD is to be included in the Section 106 in order to secure the long-term management and maintenance of the areas of shared open space. A Landscape Maintenance contribution (using the updated costs for 2024/2025) will be secured through the Section 106 agreement in the event that the open space is to be transferred to the District or Parish Council.
- 7.98 For this development there is a requirement (as per the Developer Contributions SPD) for 3018qm of informal space, which should include 783 sqm of casual space for play, 356sqm of equipped play facilities and 413 sqm of left over green space. The informal green spaces are exclusive of highway verges, structural planting, existing woodland and drainage features. Whilst there are significant areas of green space proposed for this development, given the levels and landscaping proposed in these areas, in lieu of provision of equipped play facilities and usable space for play on site, using the calculations within the SPD, an off-site contribution of £11,668 is requested which would go towards either enhancement of existing local facilities or the development of additional facilities to serve the development.
- 7.99 Outdoor sports provision: As no on-site formal outdoor sport facilities are proposed within this development, an off-site financial contribution is required towards formal outdoor sports provision in Kimbolton, in accordance with the Playing Pitch & Outdoor Sports Strategy (PPOSS). The development of 65 dwellings, based on an average household size of 2.19, is expected to generate approximately 142 residents. Applying the Council's standard cost rate for formal outdoor sport, this equates to a total contribution of £39,217.
- 7.100 The PPOSS identifies that facilities in Kimbolton require targeted investment to increase capacity and improve quality across cricket and football. At Kimbolton Cricket Club, the preferred solution to alleviate junior overplay is the installation of a Non-Turf Pitch (NTP) on the outfield. The club also aspires to install an additional practice net facility, which would support junior development and reduce pressure on the main square. In relation to football, improvements to pitch quality and enhanced

levels of maintenance are necessary to sustain greater levels of use and ensure reliability of fixtures. Ancillary provision, including changing facilities, toilets, and storage has also been identified as needing development to better support both football and cricket activity.

- 7.101 It is therefore recommended that the financial contribution from this development is ring-fenced for projects in Kimbolton that are compliant with the PPOSS. Priority should be given to the installation of a Non-Turf Pitch at Kimbolton Cricket Club, the provision of additional practice nets, improvements to pitch quality and maintenance at local football sites, and the enhancement of ancillary facilities that directly support formal sport.
- 7.102 The obligation to secure a financial contribution £39,217 towards formal outdoor sports provision in the parish of Kimbolton is considered to meet the statutory tests and is compliant with policy and the SPD.
- 7.103 Biodiversity Net Gain: The proposal includes onsite habitat, linear feature (hedgerow) and watercourse creation. Due to the size and distinctiveness of habitat created onsite, a monitoring fee of £6,345 broken up into instalments is required to cover a period of 30 years. This would be secured through a Section 106 agreement and is considered necessary to ensure the biodiversity net gain is achieved in accordance with Policy LP30 of the Local Plan and the NPPF 2024.
- 7.104 Residential Wheeled Bins: In accordance with Policy LP4 of Huntingdonshire's Local Plan to 2036 and the Developer Contributions SPD (Part H) each dwelling will require the provision of one black and blue wheeled bin (green bins are payable separately per year as requested by occupiers). The current cost of such provision is £114 per dwelling. A total of £7,410 is to be secured through a section 106 agreement and is considered necessary to ensure the development has adequate waste infrastructure, in accordance with policy LP4 and section H of the Developer Contributions SPD.
- 7.105 Affordable Housing: The application proposes a policy compliant level of affordable housing (40% = 26 dwellings). These would be a mix of 1, 2, 3 and 4 beds and the four units would be M4(3) wheelchair adaptable. Subject to final wording within the S106 Agreement, the scheme is supported with provision of on-site affordable housing in accordance with Policy LP24 and section A of the Developer Contributions SPD.
- 7.106 Community Infrastructure Levy (CIL): The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

- 7.107 All of the obligations are considered to meet the statutory tests and are compliant with relevant policies and the Developer Contributions SPD. The planning obligations set out above have been agreed by the Applicant and are considered to mitigate the development in accordance with policies LP3, LP4, LP24, LP30 and the Developer Contributions SPD.

Other matters

- 7.108 Minerals and Waste: The site lies within a Brick Clay Mineral Safeguarding Area as identified in the Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021). However, as the site is allocated for housing in the Local Plan, the Minerals and Waste Planning Authority has confirmed that the proposal falls under exception (b) of Policy 5 and therefore raises no objection. The proposal is considered to accord with both the Minerals and Waste Local Plan and the adopted Local Plan.

Conclusion and Planning Balance

- 7.109 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'. While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.
- 7.110 Planning law requires that applications for planning permission be determined in accordance with the development plan unless material considerations indicate otherwise.
- 7.111 A revised NPPF was published in December 2024, introducing a substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements. This has resulted in the Council being unable to demonstrate a five year housing land supply (5YHLS). While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications. Allocation KB2 stands as adopted in the Local Plan and is not considered to be out of date. Policy Allocation KB2 is therefore afforded significant weight in the determination of this planning application.

7.112 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'.

7.113 NPPF para 11 states:

'Plans and decisions should apply a presumption in favour of sustainable development.'

For decision-taking this means:

d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:

i. the application of policies in this Framework that protect areas or assets of particular importance (7) provides a strong reason for refusing the development proposed; or*

ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

7 Foot note 7 states: The policies referred to are those in this Framework (rather than those in development plans) relating to: habitats sites (and those sites listed in paragraph 194) and/or designated as Sites of Special Scientific Interest; land designated as Green Belt, Local Green Space, a National Landscape, a National Park (or within the Broads Authority) or defined as Heritage Coast; irreplaceable habitats; designated heritage assets (and other heritage assets of archaeological interest referred to in footnote 75); and areas at risk of flooding or coastal change.'*

7.114 As outlined in the report, there are no strong reasons for refusal in relation to any habitats sites (and those sites listed in paragraph 194) and/or designated as Sites of Special Scientific Interest, Local Green Space, irreplaceable habitats; designated heritage assets (and other heritage assets of archaeological interest referred to in footnote 75) and areas at risk of flooding. Therefore, there is no reason to not move forward to test d (ii) as per above and thus the 'tilted balance' is engaged.

7.115 As stated above, a tilted balance approach should be applied in the assessment of the proposed development, and a balancing exercise should be carried out to determine the potential any

adverse impacts of doing so would significantly and demonstrably outweigh the benefits.

- 7.116 There is a minor conflict with Policy LP10 due to the loss of a small area of agricultural land outside the KB2 allocation. This harm is attributed moderate weight due to the small scale of agricultural land loss and landscape-led design rationale for the larger site boundary.
- 7.117 Policy LP25 of the Huntingdonshire Local Plan to 2036 requires that 100% of new dwellings meet the M4(2) standard for accessible and adaptable homes. While the majority of the proposed dwellings are capable of meeting this requirement, two first-floor maisonettes within the scheme do not provide level, step-free access or a second route of exit. As a result, these units can only meet the M4(1) standard. This represents a clear conflict with Policy LP25, which seeks to ensure that all new homes are accessible to a wide range of users, including those with mobility impairments. The conflict with this policy is considered to carry considerable weight in the overall planning balance.
- 7.118 There would be less than substantial harm to the setting of nearby Listed Buildings and the approach to the Kimbolton Conservation Area, contrary to Policy LP34. This harm is acknowledged and must be given great weight in accordance with paragraph 215 of the NPPF (2024). However, this harm must be weighed against the public benefits of the proposal.
- 7.119 In terms of the benefits of the scheme, the proposed development would deliver 65 new homes, including 40% affordable housing, contributing meaningfully to the district's housing supply at a time when the Council cannot demonstrate a five-year housing land supply. This is given substantial weight in the planning balance.
- 7.120 The site is predominantly allocated for residential development under Policy KB2 and lies within a sustainable location in a Key Service Centre. This is afforded significant weight.
- 7.121 The proposed development would deliver of 36 affordable homes towards a significant district affordable need. Significant weight is afforded to this.
- 7.122 In terms of the economic dimension of sustainable development, the proposed development would contribute towards economic growth, including job creation – during the construction phase and in the longer term through the additional population assisting the local economy through spending on local services/facilities. Moderate weight is afforded to this.

7.123 In terms of the environmental and social dimensions of sustainable development, the development would also provide substantial areas of informal open space, biodiversity net gain, improved pedestrian connectivity and off-site highway improvements, and financial contributions towards outdoor sports provision and infrastructure.

7.124 On balance, when assessed against the policies in the NPPF taken as a whole, the identified harms are not considered to significantly and demonstrably outweigh the benefits of the proposal. Therefore, in accordance with paragraph 11(d) of the NPPF, the presumption in favour of sustainable development applies, and the application is recommended for approval subject to conditions and completion of a Section 106 agreement.

8. RECOMMENDATION – POWERS DELEGATED to the Head of Planning, Infrastructure & Public Protection to APPROVE subject to conditions and completion of a Section 106 obligation:

- Time limit
- Approved plans
- Materials
- Architectural details
- External levels
- Details of retaining structures
- Landscape Implementation
- Landscape Management
- Hard landscaping
- Street lighting
- Design and appearance of cycle stores
- Foul water drainage strategy
- Surface water drainage design
- Details of surface water drainage during construction
- Surface water drainage system completion report
- Compliance with FRA and Drainage Strategy
- CEMP
- Noise Mitigation Scheme
- Biodiversity Net Gain
- Compliance with Ecological Appraisal
- Compliance with AIA/Tree Protection Plan
- Ecologically sensitive lighting scheme
- Off-site highway improvement works – Footpath widening and uncontrolled pedestrian crossing on Station Road
- Offsite highway improvement works – Uncontrolled pedestrian crossing on Station Road
- Offsite highway improvement works – Uncontrolled pedestrian crossing on Newtown Lane
- Welcome Travel Packs
- Street management and maintenance arrangements

- Provision of on-site parking and turning areas prior to occupation
- Temporary facilities
- Visibility splays
- Off-site highway improvement works
- Fire hydrants
- Water efficiency
- Adaptable and Accessible dwellings
- Wheelchair adaptable dwellings

OR

REFUSE in the event that the obligation referred to above has not been completed and the Applicant is unwilling to agree an extended period of determination; or on the grounds that the Applicant is unwilling to complete the obligation necessary to make the development acceptable; or if the applicant is unwilling to agree to the pre-commencement conditions specified in this report as being necessary to make the development acceptable.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to Lucy Pateman, Senior Planning Officer (Strategic Team) – lucy.pateman@huntingdonshire.gov.uk.

[REDACTED]

From: clerk@kimboltonandstonely-pc.gov.uk
Sent: 01 August 2025 08:13
To: [REDACTED]
Cc: [REDACTED]
Subject: RE: Planning Permission Consultation - Land North Of Aragon Place Stow Road Kimbolton (ref 25/01029/FUL)

Dear [REDACTED],

Thank you for agreeing to an extension.

The Parish Council **recommends refusal** of the above application on the following grounds:

1. We believe Anglian Water are opposed to any new developments due to capacity constraints within the foul water network. Currently households are unblocking their drains on an annual basis with residents in Stonely struggling with sewerage backing up to their property during heavy rainfall and tankers having to remove foul water. This needs to be resolved before any planning permission is granted.
2. The layout, consisting of two rows of houses, in almost straight lines, is unimaginative and house types are standard with no consideration for the locality or this important entrance to the village. The proposed dwellings will dominate the existing properties in Aragon Place. There is inadequate parking and no provision for children's play.
3. No provision for crossing two busy roads especially with the addition of over 100 cars on the roads to get access into the village, which are also very busy, and its amenities including Kimbolton Academy Trust. Traffic calming measures required on both roads and a suitable crossing. Highways Authority recommend that the application not be determined until additional information is submitted regarding these concerns.
4. Increase in flood water into the village causing problems at the junction of the B660 and Stow Road, as well as water running down Stow Road onto Newtown Lane and eventually into Stonely.

Could you kindly acknowledge safe receipt of this email.

Yours sincerely,

[REDACTED]
Clerk for Kimbolton & Stonely PC

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

From: clerk@kimboltonandstonely-pc.gov.uk
Sent: 26 September 2025 13:51
To: [REDACTED]
Cc: [REDACTED]
Subject: RE: Planning Permission Consultation - Land North Of Aragon Place Stow Road Kimbolton (ref 25/01029/FUL)

Dear Sirs,

Thank you for your email of 5 September, which the parish council discussed at their meeting last night.

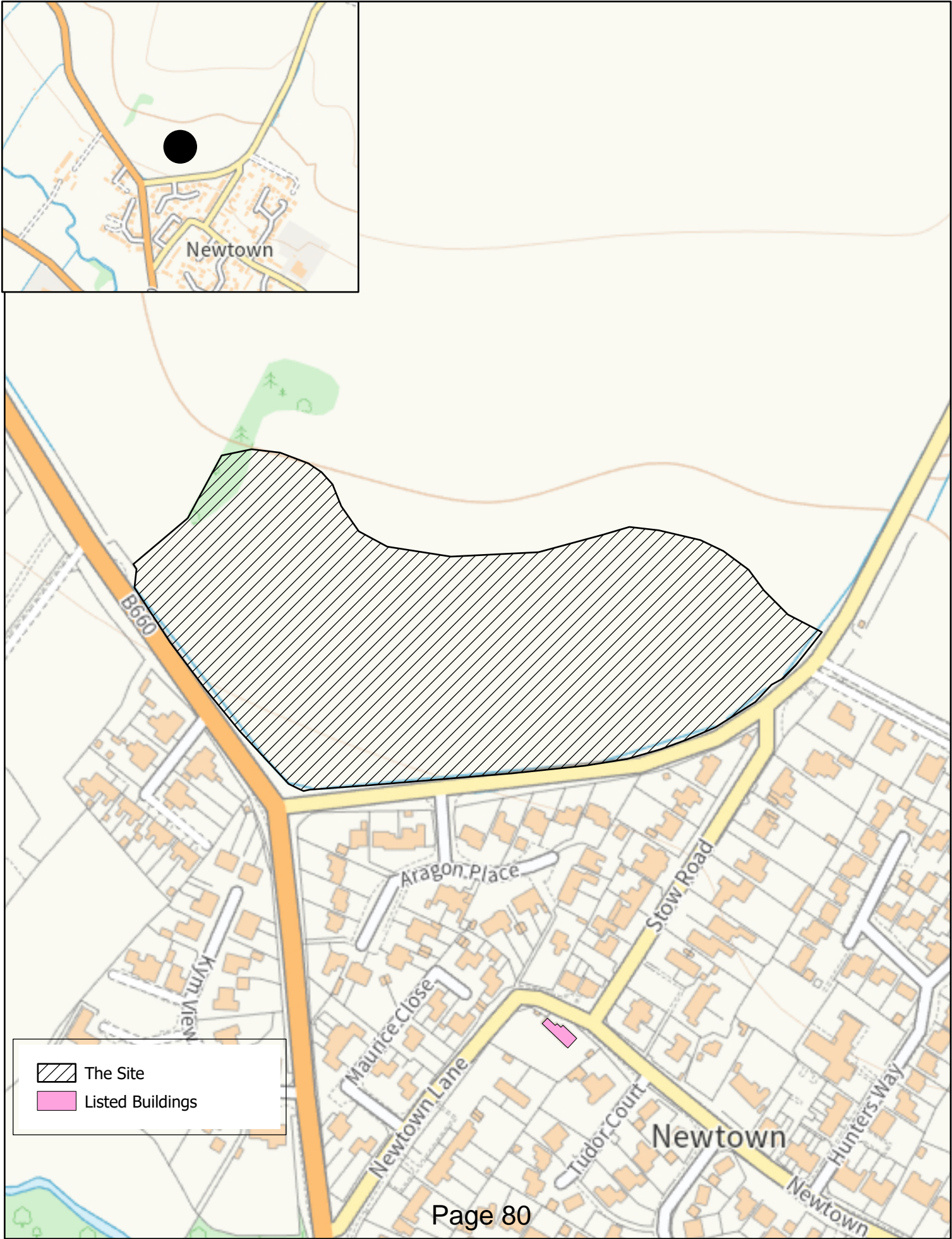
The Parish Council again **recommends refusal** of the above application on the same grounds as set out in our email of 1 August namely:

1. The parish council believe Anglian Water are opposed to any new developments due to capacity constraints within the foul water network. Currently households are unblocking their drains on an annual basis with residents in Stonely struggling with sewerage backing up to their property during heavy rainfall and tankers having to remove foul water. This needs to be resolved before any planning permission is granted.
2. The layout, consisting of two rows of houses, in almost straight lines, is unimaginative and house types are standard with no consideration for the locality or this important entrance to the village. The proposed dwellings will dominate the existing properties in Aragon Place. There are also concerns about loss of privacy for neighbouring properties and residents' gardens and habitable rooms. There are inadequate parking spaces and no provision for children's play.
3. No provision for crossing two busy roads especially with the addition of over 100 cars on the roads to get access into the village, which are also very busy, and its amenities including Kimbolton Academy Trust. Traffic calming measures required on both roads and a suitable crossing. Highways Authority recommend that the application not be determined until additional information is submitted regarding these concerns.
4. Increase in flood water into the village causing problems at the junction of the B660 and Stow Road, as well as water running down Stow Road onto Newtown Lane and eventually into Stonely.

Could you kindly acknowledge safe receipt of this email.

Yours faithfully,

[REDACTED]
Clerk



[illegible]

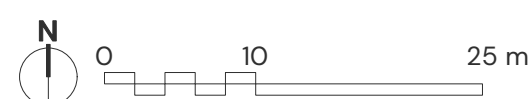
LAND OFF STOW ROAD
KIMBOLTON

LOCATION PLAN

DATE: 25.04.2025
SCALE: 1:1250@A1
DRAWN: EM
CHECKED: CW



Drawing No.	SM5183-LOC-001	Rev.
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PEGASUS
GROUP



PLOT 59 HORSHAM

PLOT 58 WESTBURY

PLOT 57 WESTBURY

PLOT 56 KEMPTON

PLOT 55 KEMPTON

PLOT 54 HORSHAM

PLOT 53 IVY

PLOT 52 RIPLEY

PLOT 51 HORSHAM

STREET SCENE 1

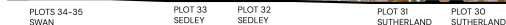


STREET SCENE 1 LOCATION PLAN



STREET SCENE 1

PEGASUS
GROUP





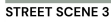
STREET SCENE 2



STREET SCENE 2

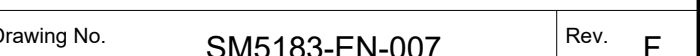
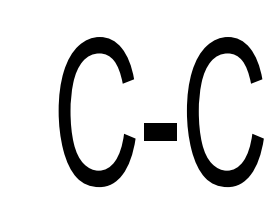
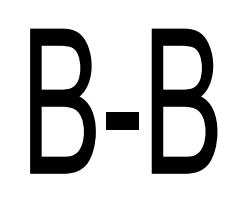


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STREET SCENES 3-6 LOCATION PLAN

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DEVELOPMENT MANAGEMENT COMMITTEE 15th DECEMBER 2025

Case No: 25/01238/FUL

Proposal: Erection of 2no. dwellings and associated works.

Location: 2 Queens Court, Eaton Socon, St Neots

Applicant: Mr Buchanan

Grid Ref: E 516816 N 259445

Date of Registration: 21.07.2025

Parish: St Neots

RECOMMENDATION - REFUSE

This application is referred to the Development Management Committee (DMC) as the officer's recommendation is contrary to that of the Town Council.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The application site is on the northern side of Queens Court, a primarily residential area in Eaton Socon, St. Neots. The area generally comprises of two storey dwellings of similar age, style and materials. A row of shops is located to the southwest. Queens Court is a cul-de-sac and Queens Gardens provides a route through the estate and serves the nearby shopping parade. The site is therefore prominently located visible within the street scene of both Queens Court and Queens Gardens.
- 1.2 The application relates to the side garden of No.2, Queens Court, an end-of-terrace dwelling sited at the junction where Queens Court meets Queens Gardens. The host dwelling is typical of the area, constructed in red brick with a tiled roof and its ridgeline parallel to Queens Court. A separate single storey garage and shed is sited to the eastern side, beyond which lies an open strip of grassed land currently used partially as a drive with an access from Queens Gardens.
- 1.3 This application seeks permission to demolish the existing separate single storey garage and shed to the east of the dwelling and erect two, two-bedroom homes. These dwellings would be built upon the existing strip of open land to the east. Parking to Plot 1 would be provided on two separate accesses from Queens

Gardens, while Plot 2 would have two vehicle spaces provided immediately within the front garden from Queens Court.

- 1.4 The dwellings would create a continuation of the existing terrace of properties with pitched roofs, and a centrally located chimney. The application states that the materials used would be appropriate to the host dwelling and surrounding area, although no specific details regarding materials have been submitted as part of the application.
- 1.5 The application proposes to utilise the garden immediately to the front of No.2 as parking for the existing dwelling and the existing vehicular access from Queens Gardens for one of the new dwellings as well as a new vehicular access further to the north for the second proposed dwelling.
- 1.6 The site lies within Flood Zone 1 on the Environment Agency Maps for Flooding and on the Council's Strategic Flood Risk Assessment maps and there are no designated heritage assets in the vicinity.
- 1.7 It is acknowledged that the proposal follows planning refusal reference 23/00774/FUL and 22/01309/FUL for the Erection of two x two-bedroom homes and associated works, one of which was a delegated refusal and subsequently dismissed at appeal and the earlier application refused by Development Management Committee in November 2022. The most recent reasons for refusal are provided below:
 1. The scale, shape, massing and siting of the proposed development is considered to fail to assimilate with the general form and layout of its surroundings and does not contribute positively to the area's character. The proposal has not been guided by the established building line or boundary treatments and causes an unacceptable degree of prominence. The proposed private amenity areas do not reflect the scale and proportion of gardens in the locality. The proposal omits design features (canopies and bay windows) which are common in the immediate street scene and therefore conflicts with the prevailing appearance of the public realm. The proposal would also introduce a car-dominated frontage on Queens Court which reduces the pleasant open aspect of this part of the street. As such the proposal is contrary to Policies LP 7, LP 11 and LP 12 (parts a, b, c, l and m of the Local Plan, Policy A3 of the St Neots Neighbourhood Plan, paragraphs 130 a - d, and 131 of the NPPF and the place making principles set out in Chapter 3 of the HDC Design Guide SPD 2017.
 2. The application has failed to incorporate adequate provision for refuse (wheeled bins) by virtue of the omission of a completed unilateral undertaking contrary to the requirements of the Developer Contributions Supplementary Planning Document

2011, and Policy LP4 of the Huntingdonshire Local Plan to 2036 (Adopted May 2019).

- 1.8 It is noted that this current scheme does offer a different proposal to that refused in 2023 and dismissed at appeal in 2024. The agent has made some design reference in the new scheme to the existing terraces fenestration and siting of doorways, as well as the inclusion of a ground floor bay window.
- 1.9 The end gable, the principle elevation for Plot 1, has been given a more active frontage to make it more appealing to the wider street scene in line with the Huntingdonshire Design Guide (SPD) 2017. The front door is located on this elevation along with a small first floor bathroom window. The siting, footprint and scale of the dwellings remains similar to that proposed under the earlier refused applications. The garden sizes and access points also remain the same as those previously submitted.
- 1.10 There are several recent planning applications for this site, the most recent being the appeal decision under reference APP/H0250/W/243338224 following the refusal of 23/00774/FUL.
- 1.11 This application has been accompanied by:
- A Planning, Design and Access Statement;
 - Biodiversity Net Gain Report;
 - Preliminary Ecological Appraisal;
 - A Unilateral Undertaking to make provisions for bins
- 1.12 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (NPPF 2024) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2024 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2024 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

LP1: Amount of Development
LP2: Strategy for Development
LP4: Contributing to Infrastructure Delivery
LP5: Flood Risk
LP6: Waste Water Management
LP7: Spatial Planning Areas
LP11: Design Context
LP12: Design Implementation
LP14: Amenity
LP15: Surface Water
LP16: Sustainable Travel
LP17: Parking Provision and Vehicle Movement
LP25: Housing Mix
LP30: Biodiversity and Geodiversity

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Developer Contributions SPD (2011)
- Huntingdonshire Landscape and Townscape SPD (2022)
- Huntingdonshire Strategic Flood Risk Assessment (2024)
- Cambridgeshire Flood and Water SPD (2017)
- LDF Developer Contributions SPD (2011)
- Annual Monitoring Review regarding housing land supply (2024)

3.3 St Neots Neighbourhood Plan

- Policy A3 (Design)
- Policy PT1 (Sustainable Travel)
- Policy PT2 Vehicle Parking Standards for Residential Development

Local policies are viewable at <https://www.huntingdonshire.gov.uk>

3.4 The National Design Guide (2021):

- C1 - Understand and relate well to the site, its local and wider context
- I1 - Respond to existing local character and identity
- I2 - Well-designed, high quality and attractive
- B2 - Appropriate building types and forms
- M3 - Well-considered parking, servicing and utilities infrastructure for all users
- N3 - Support rich and varied biodiversity

- H1 - Healthy, comfortable and safe internal and external environment
- H2 - Well-related to external amenity and public spaces
- H3 - Attention to detail: storage, waste, servicing and utilities.

For full details visit the government website

4. RELEVANT PLANNING HISTORY

- 4.1 23/0077/FUL – Erection of 2 x 2-bedroom homes and associated works REFUSED dated 18.08.2023
- 4.2 22/01309/FUL - Erection of 2 x 2-bedroom homes and associated works REFUSED dated 25.11.2022

Appeals History

- 4.3 24/00019/REFUSL - Erection of 2 x 2-bedroom homes and associated works – Dismissed 08.07.2024

5. CONSULTATIONS

- 5.1 Parish Council – support the proposal and advise the proposal is in keeping with locality and improves the property.
- 5.2 Cambridgeshire County Council Highway Authority – No objections to the proposal in principle. The Highway Authority notes this proposal will utilise existing highways accesses. The 4 parking areas will be permeable block paving. Based on the information submitted, from the perspective of the Local Highway Authority the proposed development is acceptable subject to conditions requiring lay out of the accesses prior to occupation and adequate drainage measures to prevent surface water run off into the adjacent public highway.
- 5.3 Huntingdonshire District Council Arboricultural Officer – The proposal is not located in a Conservation Area and there are no TPO's at the address. There appears to be no trees of significance on the site that would require consideration in the planning process.

Recommendation: No objections to the application.

- 5.4 No comments have been received from the Councils Ecology or Landscape officers.

6. REPRESENTATIONS

6.1 During the course of the application, three letters of representation were received by neighbouring residential properties. All three were in objection to the proposal. The concerns raised have been summarised below:

- parking provision not adequate
- busy cul-de-sac
- accessibility problems for emergency vehicles
- overdevelopment of the plot
- overlooking potential
- construction noise
- children's safety (near to school)
- work already being carried out on site
- inaccurate representation of the site within the application documents.

7. ASSESSMENT

7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.

7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 48 of the NPPF (2024). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".

7.3 In Huntingdonshire the Development Plan (relevant to this application) consists of:

- Huntingdonshire's Local Plan to 2036 (2019)
- Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021) Cambridgeshire and Peterborough Minerals and Waste
- St Neots Neighbourhood Plan 2014-2029

7.4 The main issues to consider in the determination of this application are:

- The Principle of Development
- Design and Visual Amenity
- Residential Amenity

- Highway Safety, Access and parking provision
- Biodiversity
- Accessible and Adaptable Homes
- Water Efficiency
- Developer Contributions

The Principle of Development

Housing Land Supply

- 7.5 NPPF paragraph 78 requires the Council to identify and update annually a supply of specific deliverable sites sufficient to provide a minimum of five years' worth of housing against our housing requirement. A substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements was introduced on 12th December 2024 in the revised NPPF and associated NPPG (the standard method).
- 7.6 As Huntingdonshire's Local Plan to 2036 is now over 5 years old it is necessary to demonstrate a five year housing land supply (5YHLS) based on the housing requirement set using the standard method. NPPF paragraph 78 also requires provision of a buffer to ensure choice and competition in the market for land. As Huntingdonshire has successfully exceeded the requirements of the Housing Delivery Test, a 5% buffer is required here. The 5-year housing land requirement, including a 5% buffer, is 5,907 homes. The current 5YHLS is 4,345 homes, equivalent to 3.68 years' supply.
- 7.7 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'. While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications. Where an application is situated within a parish with a made Neighbourhood Plan NPPF paragraph 14 should also be taken into account.

Location and suitability of the site

- 7.8 Policy LP2 of the Huntingdonshire Local Plan to 2036 (the Local Plan) sets out the overarching development strategy for Huntingdonshire through the plan period. The main objectives are:
- Concentrate development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities;

- Direct substantial new development to two strategic expansion locations of sufficient scale to form successful, functioning new communities
- Provide opportunities for communities to achieve local development aspirations for housing, employment, commercial or community related schemes
- Support a thriving rural economy;
- Protect the character of existing settlements and recognise the intrinsic character and beauty of the surrounding countryside;
- Conserve and enhance the historic environment; and
- Provide complementary green infrastructure enhancement and provision to balance recreational and biodiversity needs and to support climate change adaptation.

7.9 Policy LP2 directs approximately a quarter of the objectively assessed need for housing (together with a limited amount of employment growth) to sites dispersed across the Key Service Centres and Small Settlements in order to support the vitality of these communities and provide flexibility and diversity in the housing supply. In addition, rural exception, small and windfall sites will be permitted on sites which are in conformity with other policies of the plan, thereby providing further flexibility in the housing supply.

7.10 Policy LP2 is within the Development Strategy chapter of Huntingdonshire's Local Plan to 2036, and is therefore considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications for residential development. Notwithstanding this, weight should still be given to Policy LP2 given that it directs development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities which is consistent with the NPPF.

7.11 The site is located within the built-up area of Eaton Socon, which is located within the St Neots Spatial Planning Area as defined by the adopted Huntingdonshire Local Plan to 2036. As such, Policy LP7 (Spatial Planning Areas) is considered relevant in this instance. Policy LP7 of the adopted Local Plan states that a proposal for housing development on a site which is additional to those allocated in the Local Plan will be supported where it is appropriately located within a built-up area of an identified Spatial Planning Area.

7.12 Given the proposal seeks approval for the erection of two residential dwellings within the built-up area of Eaton Socon, the development is therefore considered to be situated in an appropriate location and acceptable in accordance with LP7 of the Local Plan.

7.13 NPPF Para 84 states: Planning decisions should avoid the development of isolated homes in the countryside. NPPF Para 110

states: The planning system should actively manage patterns of growth in support of these objectives. Significant development should be focused on locations which are or can be made sustainable, through limiting the need to travel and offering a genuine choice of transport modes. This can help to reduce congestion and emissions, and improve air quality and public health. However, opportunities to maximise sustainable transport solutions will vary between urban and rural areas, and this should be taken into account in both plan-making and decision-making.

- 7.14 It is considered that the development would have access to services and facilities within Eaton Socon, and also the means to access larger settlements such as the market town of St Neots through sustainable modes of transport. The development would therefore not result in the development of isolated homes in either the edge of settlement or countryside, nor would the future occupiers have an over-reliance on the private motor vehicle as other options are available in the settlement.
- 7.15 It is determined therefore that the site is considered to be sustainable for the amount of development hereby proposed.

Design, Visual Amenity

- 7.16 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the area's character and identity and successfully integrates with adjoining buildings and landscape. This is also reflected in the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy Framework.
- 7.17 The Huntingdonshire Design Guide 2017 (DDG) sections 3.3 (Place Making and Hierarchy of Movement) and 3.7 (Building Form) are particularly relevant to the application proposals. Page 65 of the DDG states that 'New buildings should respect the established building line'. Furthermore, page 127 of the DDG (Part 3.7 Building Form) states that 'In principle buildings should respect a common building line determined by the required setback and character for that street or space.'
- 7.18 Additionally, Policy A3 of the St Neots Neighbourhood Plan states that: *All development must be designed to a high quality that reinforces local distinctiveness. Design should be guided by the overall scale, density, massing, height, landscape, layout, materials, detailing, roof orientation, relationship to back of pavement, wall to window ratios, proportion of windows, plan depth, plot width and access, the site and its surroundings including considerations of flood risk management.*

- 7.19 The proposal seeks approval for the erection of two dwellings on land adjacent to 2 Queens Court. There have been several previous applications on this site as outlined in the planning history section of this report. The most recent 24/00019/REFUSL, was an appeal following refusal of 23/00774/FUL, was dismissed as the Inspector concluded that the proposal would appear visually prominent and would erode the open character of the street scene of both Queens Court and Queens Gardens. The siting of the dwellings appearing incongruous with the form and layout of development in the area. As well as providing gardens small and out of keeping with the areas spacious character, and the design failing to respond sensitively to its setting and being unsympathetic to the character of the area.
- 7.20 The proposed development comprises 2 x two storey dwellings attached in a linear form to the existing property No 2 Queens Court. Ridge heights are a maximum of 7.9m, with the two new units sitting marginally higher in ridge and eaves height to No. 2. An underpass separates the existing property (No2) to the adjoining proposed plot 2 at ground floor allowing access to the rear garden of No. 2 Queens Court and Plot 2.
- 7.21 The proposed dwellings have been arranged to form a simple continuation of the building line of Queens Court, creating a terraced effect. This has been amended from an earlier scheme whereby the proposal attempted to 'book end' the building line by introducing gable ends facing north and south. This was not supported and the discussion of design features missing from the proposal has led to that presented as part of this application.
- 7.22 The fenestration has been amended to better reflect the properties in Queens Court. The introduction of a ground floor bay window mirrors that of No 2 Queens Court and the front door for Plot one has been introduced into the west facing elevation, along with a first floor bathroom window to offer a more active frontage to the corner plot. This provides a nod in the right direction design wise however officers still find the west elevation uninspired and bland in appearance.
- 7.23 The overall architectural approach and visual appearance of the proposed dwellings are an improvement on the recently refused/dismissed schemes. However, the proposal still pushes the built form significantly beyond the building line of 15, 17 and 19 Queens Gardens located to the north of the application site. This level of projection has been an ongoing concern historically and one that was also picked up by the Inspector as unacceptable (see paragraphs 6 and 7 of the appeal decision).
- 7.24 Given that the site is located on the junction of Queens Court and Queens Gardens and is readily viewable from the public realm, most notably from the approach from the south, it is considered

the site occupies a prominent position within the Queens Garden and Queens Court street scene. The site is characterised by an open appearance created by the setback arrangement of terrace houses Nos. 4-8 Queens Gardens and this open aspect is also replicated opposite by Nos. 20-22 Queens Gardens to the west which is open in nature. Subsequently it is acknowledged that the proposed development for two dwellings would occupy and therefore result in the loss of the open aspect within the street scene.

- 7.25 The proposed pair of semi-detached units would extend development closer westwards to the back edge of pavement along Queens Gardens and would result in development approximately 7.3m forward of the established building line on Queens Gardens, created by the front elevations of Nos. 15 and 17 and the side gables of Nos. 19 and 33 to the north. The siting of Plot 1 would fail to reflect this established building line and would result in exposing the rear elevation and rear garden boundary within the wider street scene. The proposal is therefore contrary to the Huntingdonshire Design Guide in terms of appropriate building setback and by virtue discords with Policy LP12 parts a), b) and c).
- 7.26 The arrangement of parking for Plot 1, located to the rear of this dwelling reduces the depth of the garden to 5.4 metres. This forms an uncharacteristically small and cramped amenity space compared to existing adjacent dwellings on both Queens Court and Queens Gardens. This would be contrary to part l of Policy LP12 of the Local Plan. Furthermore, the single parking space to the side of Plot 1 dominates the frontage of this unit and limits opportunities for threshold planting. This would be contrary to part m of Policy LP12 of the Local Plan.
- 7.27 In regard to Plot 2, the proposed frontage arrangement of parking for Plot 2 and the existing dwelling (No. 2 Queens Court), comprises two car spaces each (4 in total). Whilst this is reflective of the parking arrangements of Nos. 4 and 6 adjacent to the west, the proposal would result in a loss of front garden and vegetation leading to a car dominated street scene with an uninterrupted row of 8 parking spaces. No soft landscaping proposals have been put forward to break up the continuous parking spaces between No. 2 and the proposal, or to soften the appearance of the proposed parking arrangements. Given that the existing dropped kerb on Queens Court serves only the existing drive to No. 2, soft landscaping may not be achievable as it would serve as the access point for parking provision to No.2 Queens Court. It is therefore considered that the frontage of Plot 2 and No.2 Queens court would cumulate in a frontage over dominated by car parking provision, thereby conflicting with parts c and m of Policy LP12 of the Local Plan.

- 7.28 The introduction of a 1.8 metre close boarded fence on the eastern elevation fronting Queens Gardens would also fail to respect the character of the street, given that no other dwelling in the locality features a front boundary at this height, other than hedging. This element of the proposal would also fail to meet the criteria set out in LP12 of the Local Plan.
- 7.29 Although no specific materials are provided within the application, the materials can be conditioned prior to commencement of works on any approval, so as to ensure the building sits harmoniously with surrounding properties.
- 7.30 Overall, the scale and siting of the proposed development is considered to fail to assimilate with the general form and layout of its surroundings and does not contribute positively to the area's character. The proposal has not been guided by the established building line or boundary treatments and causes an unacceptable degree of prominence. The proposed private amenity areas do not reflect the scale and proportion of gardens in the locality. Whilst the current scheme has since included design features (chimneys and bay windows) which are common in the immediate street scene it is not enough to overcome the impact the proposed properties have on the prevailing appearance of the public realm.
- 7.31 Whilst this proposal sees a more cohesive design, it is considered that it still represents a cramped form of development, and the layout will still be dominated by hard surfacing. The proposal would also introduce a car-dominated frontage on Queens Court which reduces the pleasant open aspect of this part of the street. As such the proposal is contrary to Policies LP 7, LP 11 and LP 12 of the Local Plan, Policy A3 of the St Neots Neighbourhood Plan and paragraph 131 of the NPPF.
- 7.32 Overall, it is not considered that the amended scheme has addressed the previous reasons for the refusal and the concerns raised by the Planning Inspectorate in relation to its overall design and impact on the wider street scene.

Residential Amenity

- 7.33 Policy LP14 of the Local Plan states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.34 The design, orientation and positioning of the properties are such that the proposed development is not considered to result in a significant detrimental impact upon the residential amenities of the neighbouring properties through overbearing impact, loss of privacy or loss of light.

- 7.35 While it is acknowledged that the rear / side first floor window elevation would face north towards No.15 Queens Gardens, these windows would either face onto the side brick wall of No.15 or would provide views of the front garden / drive area which are acceptable.
- 7.36 Similarly, the siting of the proposal would have no significant detriment to the occupiers of the dwelling to the east, No. 2 Queens Court, by virtue of its rear/side eastern wall being at a similar building line to the rear of No.2 with no additional windows directly overlooking this neighbour.
- 7.37 Furthermore, no part of the proposals intersect the 45 degree guidance criteria set out within The Huntingdonshire Design Guide 2017 section 3.7 (Building Form) to cause any significant concerns regarding loss of light, sense of enclosure or loss of privacy.
- 7.38 One of the objections received from neighbouring occupiers refers to overlooking which could create an unacceptable impact on neighbour amenity, however whilst close to the neighbouring dwellings, no concerns relating to residential amenity impacts were observed during a site visit.
- 7.39 Given the adjacent context, location, size, and design, it is considered that the proposal is unlikely to give rise to any significant amenity impacts in terms of overlooking, loss of daylight, enclosure or other environmental impacts. The proposal is compliant with Local Plan Policy LP14 of Huntingdonshire's Local Plan to 2036 in this regard.

Highway Safety and Parking Provision

- 7.40 Policy LP17 of the Local Plan seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles.
- 7.41 The application proposes two car spaces to the front of Plot 2 on Queens Court utilising an existing dropped kerb, a car space using an existing access from Queens Gardens and a new access to the north-western area on the site to accommodate one car space with a new access from Queens Gardens.
- 7.42 The Huntingdonshire Local Plan does not have a policy specifically identifying the number of parking spaces that should be provided for new dwellings, and each site is considered separately. It is considered that the provision of four parking spaces for the development is sufficient in this instance. The proposal also ensures ongoing parking provision for No.2. Queens

Court. County Highways have no objection to the proposal in terms of highway safety.

- 7.43 Policy LP17 of the Local Plan to 2036 and the Huntingdonshire Design Guide (2017) seeks the provision of secure and covered cycle parking on the basis of 1 space per bedroom. No cycle parking provision have been submitted and would be secured by condition if planning permission were to be granted.
- 7.44 Therefore, subject to appropriate conditions the proposal is considered acceptable in terms of its impact on highway safety and therefore accords with Policy LP17 of Huntingdonshire's Local Plan to 2036 and Section 9 of the National Planning Policy Framework in this regard.

Biodiversity

- 7.45 Paragraph 187 of the NPPF (2024) states planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of the Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible, through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type, and location of development.
- 7.46 A Preliminary Ecological Appraisal (PEA) has been submitted and identifies no significant ecological constraints within the site. The report concludes that the proposed development will not impact any protected species. The Local Planning Authority are satisfied that the recommendations set out in the submitted PEA are appropriate and satisfactory and recommend planning conditions securing the recommendations are annexed to any planning permission.
- 7.47 As well as the above (and separate from the requirements of LP30) as of the 2nd April 2024 qualifying new development is subject to Biodiversity Net Gain legislation pursuant to the Environment Act 2021. This means that a 10% statutory Biodiversity Net Gain (BNG) is required, following the hierarchy of onsite provision; mixture of on-site and off-site provision; and the last resort of statutory biodiversity credits unless it can be demonstrated that the development would be exempt.
- 7.48 A Biodiversity Net Gain Assessment has been submitted with the application which demonstrates that the development proposal will result in a 19.34 % net loss in habitat units and a 20.41 % net gain in Hedgerow units. The proposal does not meet the metric trading

rules for equivalent habitat types, as it has insufficient low-distinctiveness habitats, specifically vegetated gardens.

- 7.49 The statutory biodiversity metric demonstrates that the proposed development would result in a shortfall of 0.01 units against the mandatory 10% biodiversity net gain requirement. This shortfall is numerically de minimis, and all reasonable opportunities to increase on-site habitat creation and enhancement have been exhausted through the design process. In the event that planning permission were to be granted, this residual shortfall would be addressed in accordance with the biodiversity gain hierarchy, either through the purchase and legal securing of an equivalent (or greater) number of off-site biodiversity units on the biodiversity gain sites register, or as a last resort through statutory biodiversity credits, such that the overall 10% net gain objective would be fully met.
- 7.50 Overall, the Local Planning Authority are satisfied with the findings of the submitted PEA and BNG Assessment and as such the proposal accords with Local Plan Policy LP30 and the NPPF (2024) subject to the imposition of conditions.

Flood Risk

- 7.51 National guidance and Policy LP5 of the Local Plan to 2036 seek to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 159-169 of the NPPF (2024)).
- 7.52 The application site is situated in Flood Zone 1 based on the Environment Agency Floods Maps and the Strategic Flood Risk Assessment (2017). This results in a low probability of fluvial flooding and is not subject to the sequential and exception tests as set out within the NPPF. The proposed development is therefore considered to accord with Policy LP5 of the Local Plan to 2036 and the NPPF (2024) in this regard.

Accessible and Adaptable Dwellings

- 7.53 Policy LP25 of the Huntingdonshire's Local Plan to 2036 states that proposal for new housing will be supported where they meet the optional Building regulation requirement M4(2) 'accessible and adaptable dwellings' unless it can be demonstrated that site specific factors make this impractical or unviable.
- 7.54 To ensure that the development can meet these standards a condition would be imposed on any permission that may be granted in this regard in accordance with Policy LP25 of Huntingdonshire's Local Plan to 2036.

Water Efficiency

- 7.55 Policy LP12 (j) of the Local Plan to 2036 states that new dwellings must comply with the optional Building Regulation requirement for water efficiency set out in Approved Document G of the Building Regulations. A condition will be attached to any consent to ensure compliance with the above, in accordance with Policy LP12 (j) of Huntingdonshire's Local Plan to 2036.

Developer Obligations

Bins

- 7.56 Part H of the Developer Contributions SPD (2011) requires a payment towards refuse bins for new residential development. A Unilateral Undertaking Form in respect of wheeled bins has been received by the Local Planning Authority. The proposed development is therefore considered to accord with Policy LP4 of Huntingdonshire's Local Plan to 2036 and the Developers Contributions SPD (2011).

Community Infrastructure Levy (CIL)

- 7.57 The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

Conclusion

- 7.58 The presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'. While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.
- 7.59 Planning law requires that applications for planning permission be determined in accordance with the development plan unless material considerations indicate otherwise.
- 7.60 A revised NPPF was published in December 2024, introducing a substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements. This has resulted in the Council being unable to demonstrate a five year housing land

supply (5YHLS). While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.

7.61 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'.

7.62 NPPF para 11 states:

'Plans and decisions should apply a presumption in favour of sustainable development.'

For decision-taking this means:

d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:

i. the application of policies in this Framework that protect areas or assets of particular importance (7) provides a strong reason for refusing the development proposed; or*

ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

7 Foot note 7 states: The policies referred to are those in this Framework (rather than those in development plans) relating to: habitats sites (and those sites listed in paragraph 194) and/or designated as Sites of Special Scientific Interest; land designated as Green Belt, Local Green Space, a National Landscape, a National Park (or within the Broads Authority) or defined as Heritage Coast; irreplaceable habitats; designated heritage assets (and other heritage assets of archaeological interest referred to in footnote 75); and areas at risk of flooding or coastal change.'*

7.63 In regard to paragraph 11 (d) part i, it is considered there are no strong reasons for refusal in relation to any habitats sites (and those sites listed in paragraph 194) and/or designated as Sites of Special Scientific Interest, Local Green Space, irreplaceable habitats; designated heritage assets (and other heritage assets of

archaeological interest referred to in footnote 75) and areas at risk of flooding. Therefore, the 'tilted balance' is engaged.

- 7.64 A tilted balance approach should be applied in the assessment of the proposed development, and a balancing exercise should be carried out to determine whether the potential any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, in accordance with paragraph 11 (d) part ii.
- 7.65 It should also be noted that paragraph 14 of the NPPF states in situations where the presumption (at paragraph 11d) applies to applications involving the provision of housing, the adverse impact of allowing development that conflicts with the neighbourhood plan is likely to significantly and demonstrably outweigh the benefits, provided the following apply:
- a) the neighbourhood plan became part of the development plan five years or less before the date on which the decision is made; and
 - b) the neighbourhood plan contains policies and allocations to meet its identified housing requirement.
- 7.66 In this instance, the St Neots Neighbourhood Plan (made on 17 May 2013) is older than 5 years, therefore paragraph 14 is not engaged. However, Policy A3 of the Neighbourhood Plan is still an important material consideration for local character and design, specifically supporting quality design in residential development.

Benefits and Harm

- 7.67 In terms of the social benefits of sustainable development, the proposal would provide two additional dwellings within an established settlement. As the Council cannot demonstrate a five-year housing land supply, the contribution of small-scale housing schemes attracts significant weight in accordance with paragraph 11(d) of the NPPF (2024). The two-bedroom units would also make a modest contribution to local housing mix.
- 7.68 The site benefits from good access to local services and facilities. A lit pedestrian footpath is accessible via Bushmead Road and St Neots Road, and the site is a short walking distance from a bus stop providing frequent services to Ramsey, Huntingdon and St Ives, all of which offer a broad range of facilities. Local amenities including a village hall, primary school, convenience store, public house and fuel garage are all nearby. These local attributes support the NPPF's objective of creating strong, healthy and inclusive communities and are afforded moderate weight.
- 7.69 With regard to the economic benefits, the development would generate temporary construction employment and support local supply chains, with future occupiers contributing to ongoing local expenditure in shops and services. These factors provide moderate positive weight in favour of the scheme.

- 7.70 In terms of the environmental benefits, the scheme would make effective use of land within the existing built-up area and would be capable of incorporating measures to meet optional Building Regulations relating to accessibility and water efficiency. The proposal includes measures to secure Biodiversity Net Gain in accordance with the biodiversity gain hierarchy. These environmental benefits, while limited in scale, attract limited positive weight.
- 7.71 Balanced against these benefits are the identified harms arising from the siting, layout, scale and detailed design of the development. The proposal would materially erode the open and spacious character of the prominent corner at the junction of Queens Court and Queens Gardens, project significantly forward of the established building line on Queens Gardens, and introduce a cramped pattern of small rear gardens and extensive hard surfacing. The elevated and continuous parking frontage, together with the proposed 1.8m boundary fence, would appear visually intrusive and uncharacteristic, resulting in an overdeveloped and car-dominated appearance that fails to respect or reinforce the local distinctiveness of the surrounding area. This conflicts with the environmental objective of sustainable development and with Section 12 of the NPPF (2024), which requires well-designed, beautiful and locally responsive places.
- 7.72 Having regard to paragraph 11(d)(ii) of the NPPF (2024), officers consider that these harms attract substantial weight and significantly and demonstrably outweigh the moderate benefits identified above when the Framework is considered as a whole.
- 7.73 Overall, the proposed development is considered to be of a poor design by virtue of its overdevelopment of the site whereby the development would result in harm to the character and appearance of the site. The public benefits of the proposal are not considered to outweigh the identified harm. As such, the proposed development is considered to be contrary to Policies LP7, LP11 and, LP12 of the Huntingdonshire's Local Plan to 2036, Policy A3 of the St Neots Neighbourhood Plan, the Huntingdonshire Design Guide SPD and the National Planning Policy Framework in this regard.
- 7.74 Taking national and local planning policies into account, and having regard for all relevant material considerations, it is concluded that the proposed development is contrary to policy and not acceptable. There are no overriding material considerations that indicate that permission should be granted in this instance. Therefore, it is recommended that the application be refused.

8. RECOMMENDATION - REFUSE FOR THE FOLLOWING REASON:-

The application site occupies a prominent corner position at the junction of Queens Court and Queens Gardens within an established residential area characterised by two-storey terraces set behind generally consistent building lines, open front gardens and soft landscaping which together create a pleasant, spacious street scene. By reason of its scale, massing, detailed design and, in particular, its siting substantially forward of the established building line on Queens Gardens, the proposed pair of dwellings would appear as an intrusive and incongruous extension of the existing terrace, eroding the open character of this corner and harming the visual relationship between Queens Court and Queens Gardens. The development would result in unusually small and cramped private garden areas that do not reflect the prevailing pattern, scale and proportion of gardens in the locality and would introduce a 1.8-metre close-boarded fence to Queens Gardens that is out of keeping with the generally open, landscaped front boundaries along the street.

In addition, the layout would create an overly hard-surfaced, car-dominated frontage to Queens Court, with an almost continuous run of parking spaces serving No. 2 Queens Court and the new dwellings, and limited opportunity for meaningful soft landscaping. This would materially diminish the existing pleasant, open aspect of this part of Queens Court and fail to reinforce the local distinctiveness and positive qualities of the area.

Taken together, these factors amount to an overdevelopment of a constrained corner plot that fails to respond positively to its context, does not integrate successfully with the established form, layout and townscape character of Queens Court and Queens Gardens, and does not achieve a high quality, beautiful or locally distinctive place.

The proposal is therefore contrary to Policies LP7, LP11 and LP12 of Huntingdonshire's Local Plan to 2036, the Huntingdonshire Design Guide SPD (2017), in particular sections 3.3 (Place Making and Hierarchy of Movement) and 3.7 (Building Form), and Policy A3 (Design) of the St Neots Neighbourhood Plan, which together require development to respect local character, established building lines, garden patterns and boundary treatments. The proposal also conflicts with the National Planning Policy Framework (2024), notably Section 12 (Achieving well-designed and beautiful places), including paragraphs 131–135 and 140, which seek development that is sympathetic to local character and history, establishes or maintains a strong sense of place and creates visually attractive and well-designed environments.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquires about this report to **Saffron Loasby, Senior Development management Officer** saffron.loasby@huntingdonshire.gov.uk

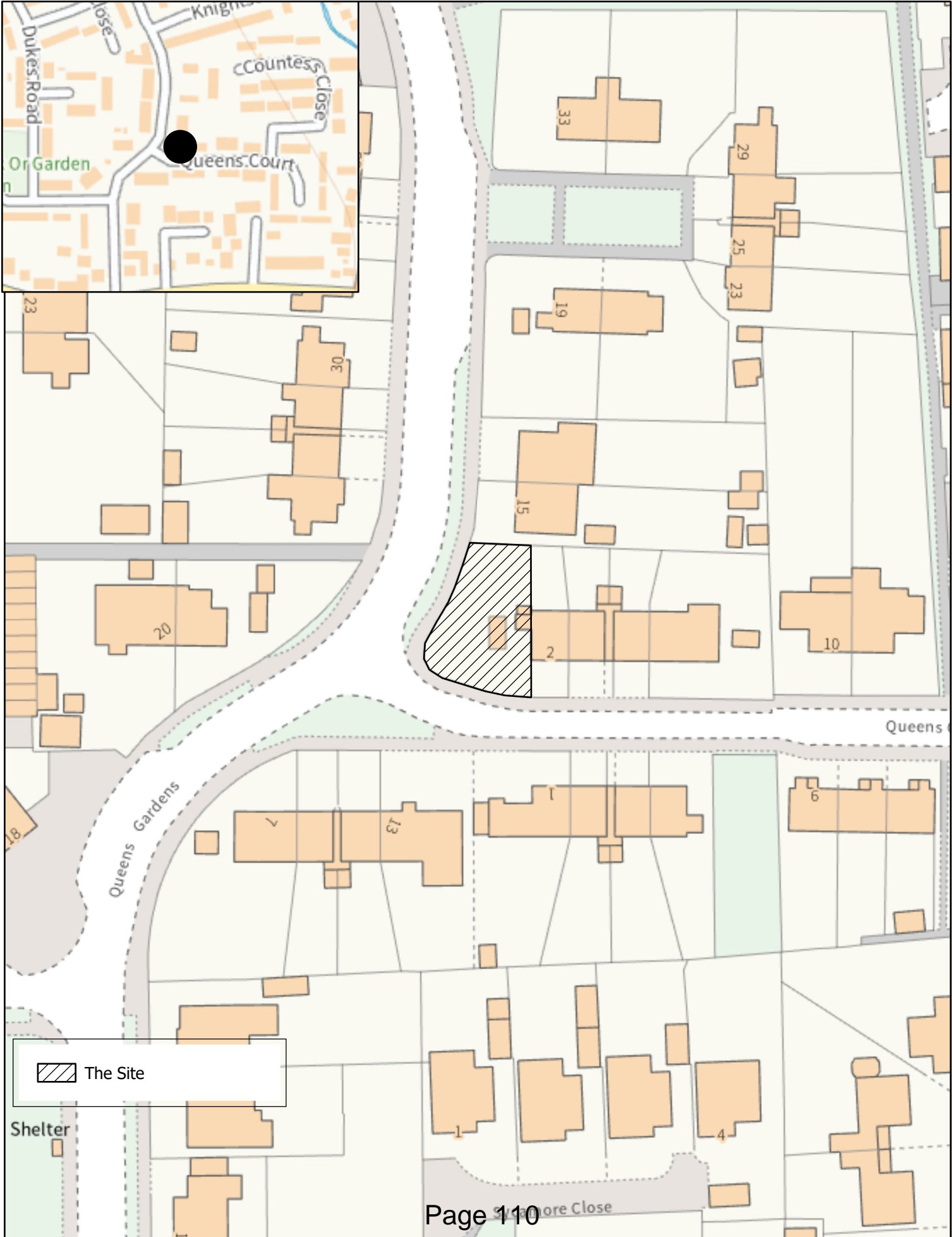
Schedule of Planning Applications – 12th August 2025

No.	Reference	Development	SNTC Decision	Notes
The following application/s are for listed building consent				
S1	25/01392/LBC	Pure Gym Ltd 57 High Street, St Neots, PE19 1JG 3x illuminated fascia signs to front, side and rear elevations, vinyl signage to front and side elevations and installation of 5x poster cases to side and rear elevations.	SUPPORT	Members support the application however they concur with the Conservation Officer's concerns relating to the vinyl signage proposal across the entire High Street elevations. Members support the recommendation that this aspect of the proposal should be deleted from the application.
The following application/s are in a conservation area				
S2	25/01190/FUL	St Neots Town Council Steve Van De Kerkhove Community Centre, Cemetery Road, St Neots Installation of 2No. AC units to the roof.	NOTED	As the applicant, the Council makes no formal comment in its role as a statutory consultee.
S3	25/01343/HHFUL	Mr & Mrs Black Berkley Cottage, 5 Berkley Street Eynesbury Demolition of part of the existing store and WC extension, removal of chimney, erection of new single storey rear extension, and alterations to rear fenestration.	SUPPORT	Makes efficient use of its site. Within a sustainable location.
S4	25/01383/S73	Mr Neil McGeoch – Burglas Ltd 25 - 27 Market Square, St Neots PE19 2AR Variation of condition 4 (use) of 24/02021/FUL to allow any use within Use Class E.	SUPPORT	Improves the property. Makes efficient use of its site.
S5	25/01189/FUL	St Neots Town Council Gatelodge Cemetery Road, St Neots Installation of 3x AC units (air-to-air source heat pumps).	NOTED	As the applicant, the Council makes no formal comment in its role as a statutory consultee.
S6	25/01350/TREE	Mrs Vanessa Saunders Osier Holt Hardwick Road, Eynesbury Pollarding of 1No. Willow tree (G2) (Land off Coneygeare, Eynesbury, St. Neots) Tree Preservation Order 15/97.	SUPPORT	Subject to approval of HDC Tree Officer. Works to be carried out accordance with best arboricultural practice.
S7	25/01464/TREE	Ms S Mobbs The White House St Neots Road Eaton Ford T5 Wellingtonia - raise crown to 3.5m and remove broken lodged limb	SUPPORT	Subject to approval of HDC Tree Officer. Works to be carried out accordance with best arboricultural practice.
S8	25/01321/HHFUL	Miss Caitlin Noonan 97 Great North Road Eaton Socon, St Neots Proposed two storey extension to the side/rear.	SUPPORT	Makes efficient use of the site. Improves the property.

Schedule of Planning Applications – 12th August 2025

No.	Reference	Development	SNTC Decision	Notes
S9	25/00946/HHFUL	Mr Krzysztof Debowski 134 Duck Lane, St Neots, PE19 2EQ Installation of a dropped kerb	SUPPORT	Members noted the consultee comment from CCC Highways that the highway works proposed will necessitate the completion of a Section 184 Highway Works Agreement between the developer and the LHA prior to commencement. In keeping with locality. Improves the property.
S10	25/01238/FUL	Mr Buchanan 2 Queens Court, Eaton Socon, St Neots Erection of 2No. Dwellings and associated works.	SUPPORT	In keeping with locality. Improves the property.
S11	25/01365/HHFUL	Mr Tom Errington 64 Lannesbury Crescent St Neots PE19 6AF Erection of single storey rear extension.	SUPPORT	Improves the property.
S12	25/01432/HHFUL	Ms Jessie Saywell 81 Hardwick Road Eynesbury Demolition of existing single storey structures. Construction of two and single storey extension and associated works.	SUPPORT	Improves the property. Members consider that the proposal would assimilate itself to the existing part of the town.

Chairperson

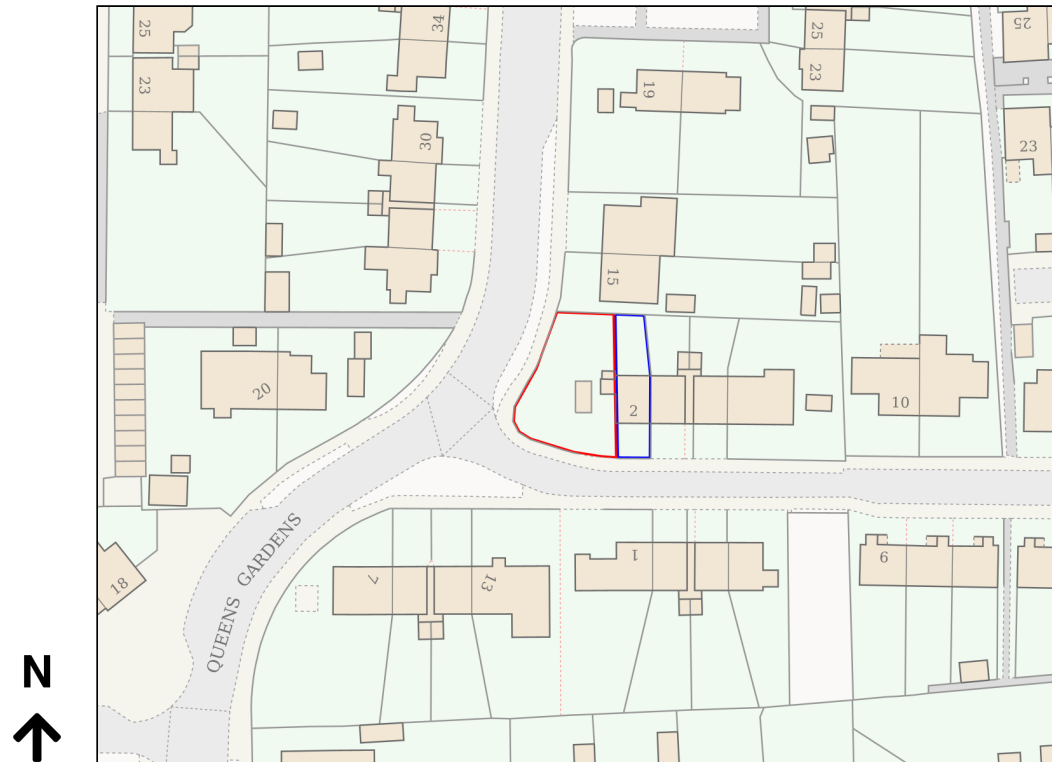


Location Plan

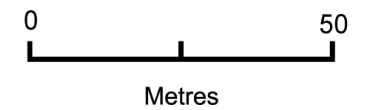
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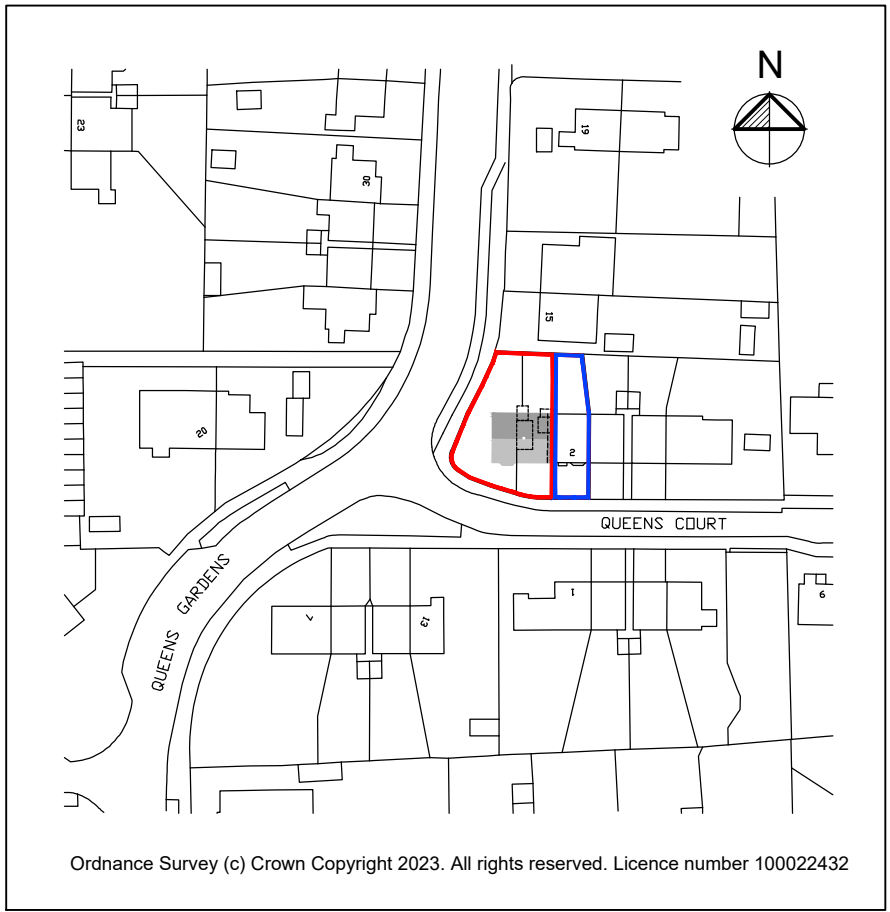
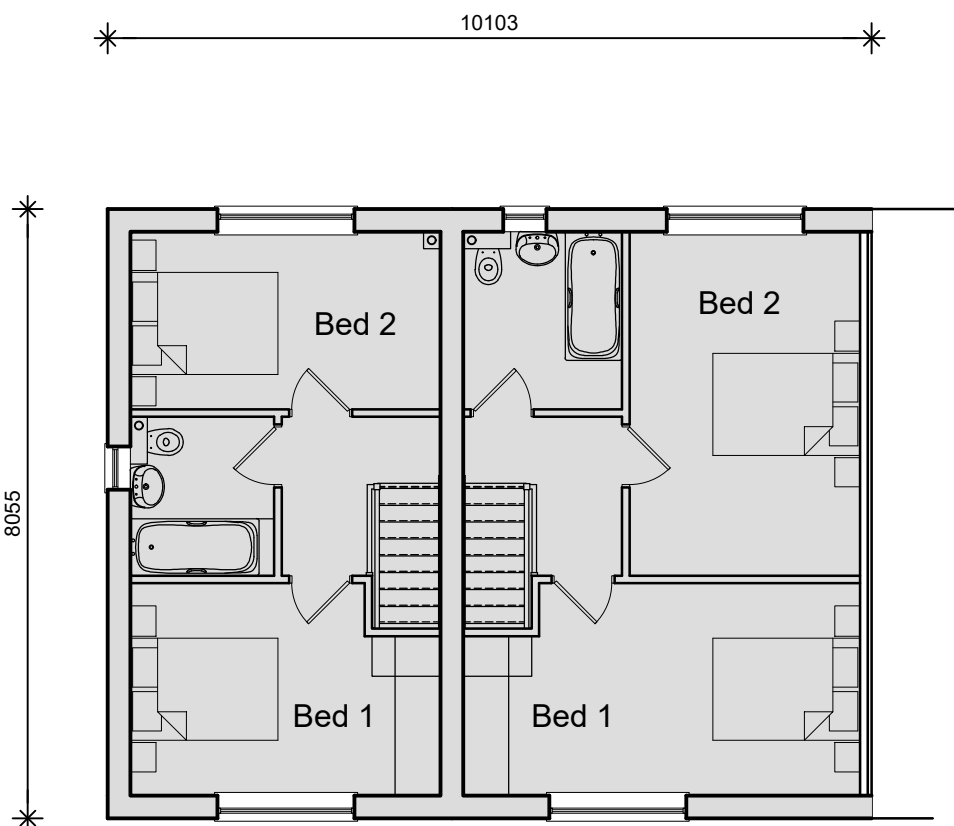
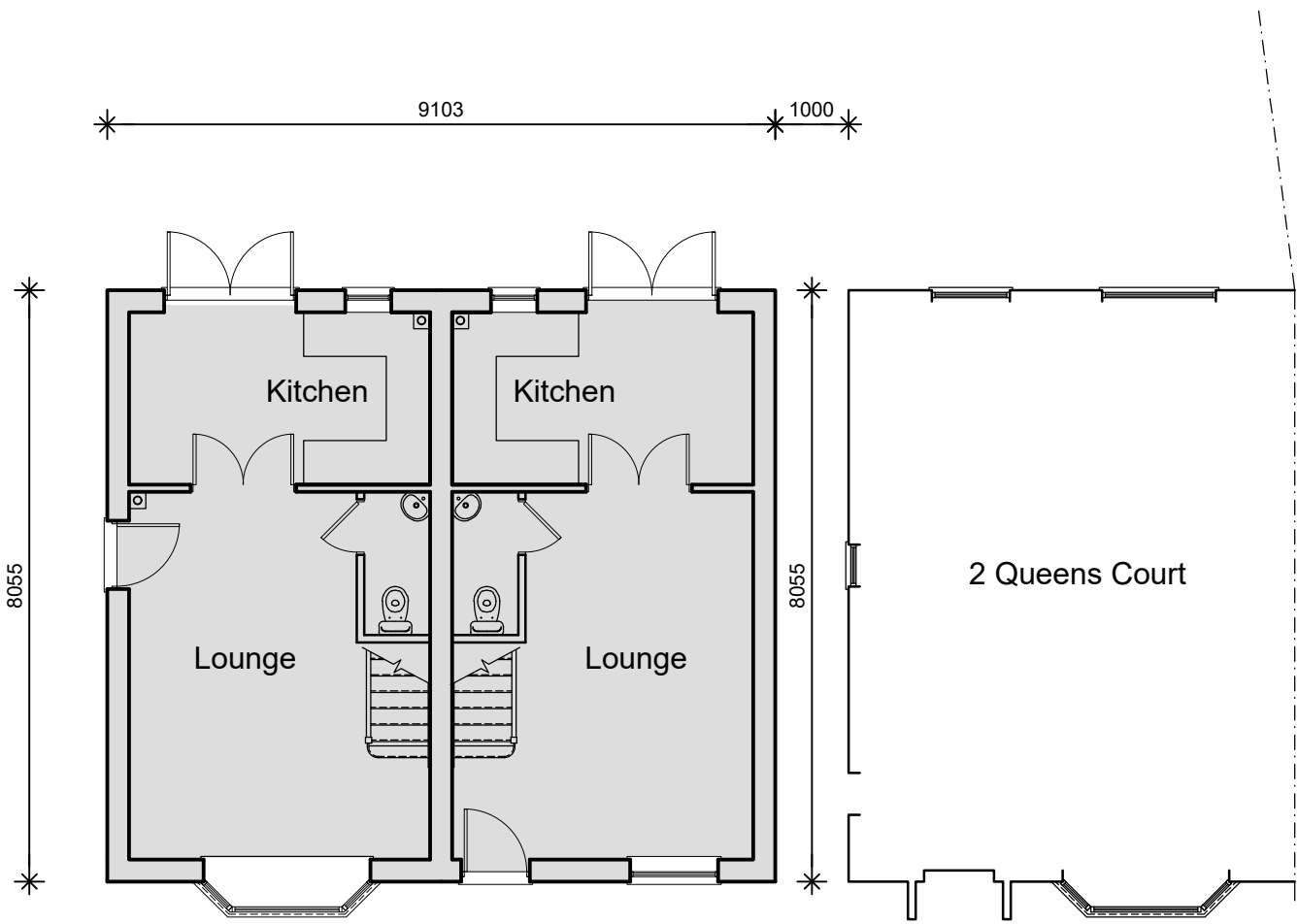
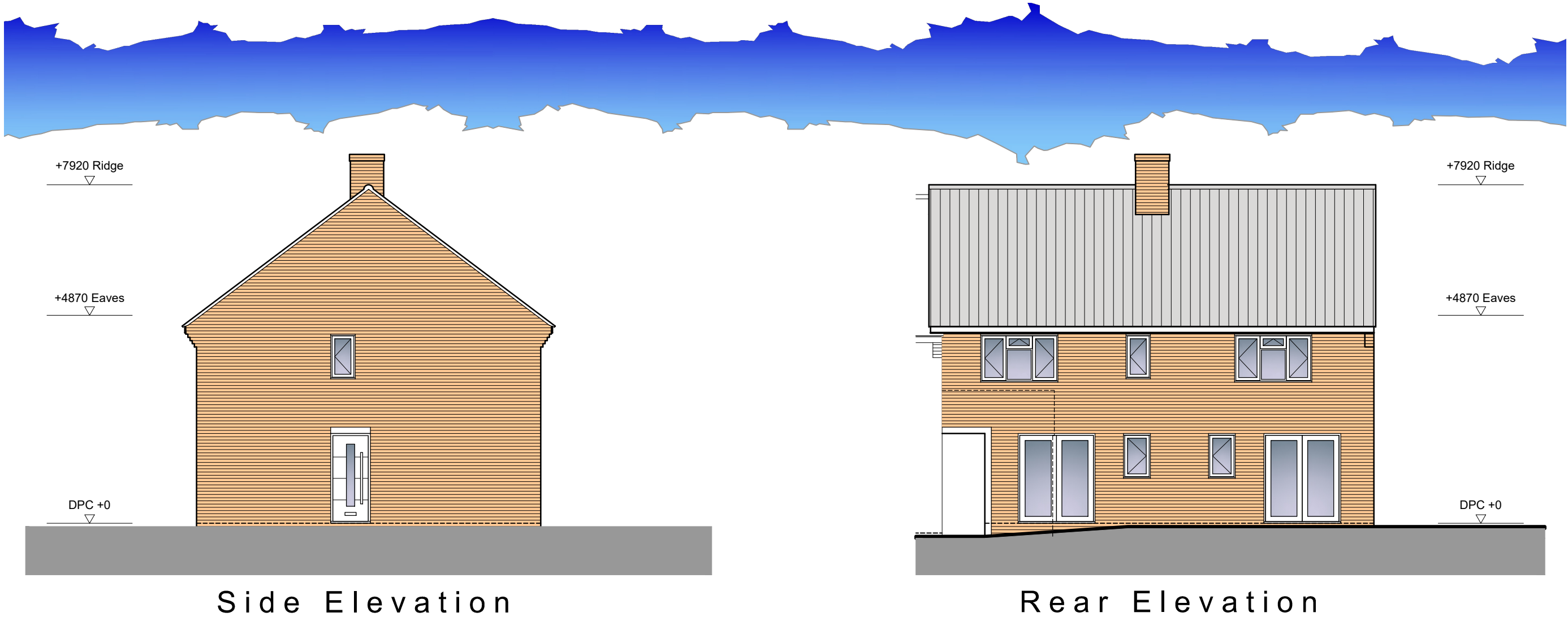
Date Produced: 07-Jul-2025

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Planning Portal Reference: PP-14142425v1





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Project:
Development adjacent to
2 Queens Court, Eaton Socon,
St Neots, Cambs. PE19 8BZ.

Drawing:
Plans and Elevations

Drawn by:
JG

Scale:
1:100;1:200;1:1250

Date:
11.5.25

This drawing should not be scaled other than for planning purposes. All dimensions to be checked on site.

Drawing no:
JLG864/S3/01

Revision

DEVELOPMENT MANAGEMENT COMMITTEE 15th DECEMBER 2025

Case No: 25/01436/FUL

Proposal: PROPOSED 2NO. REPLACEMENT SELF-BUILD DWELLINGS AND 1NO. DETACHED DOUBLE GARAGE

Location: 3 SHEEPWALK COTTAGES, OUNDLE ROAD, ELTON, PETERBOROUGH, PE8 6SE

Applicant: MS DANIELLA CALITRI

Grid Ref: 511351 294519

Date of Registration: 06.08.2025

Parish: ELTON

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) because the Officer recommendation of approval is contrary to the Parish Council recommendation of refusal.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The site comprises of a 0.36 hectare irregular shaped parcel of land which hosts No. 3 and 4 Sheepwalk Cottages, Oundle Road. No 4. Sheepwalk Cottage is a 2-storey detached property with a detached flat roof single garage. No 3. Sheepwalk Cottage is a 2-storey detached dwelling with attached flat roof single garage. No. 3 and 4 Sheepwalk Cottages are designed with pitched roofs, ground floor bay windows and are set back from Oundle Road in a staggered arrangement. The site is accessed off a shared drive off Oundle Road.
- 1.2 The site is primarily surrounded by open countryside, albeit a pair of semi-detached dwellings (No.1 and 2 Sheepwalk Cottages, Oundle Road) are adjacent to the southwest of the site. The site is located approximately 2.6km east of the settlement of Elton and 1.6km west of the settlement of Chesterton.
- 1.3 The Farmhouse and Granary at Sheepwalk Farm are Grade II listed buildings approximately 175 meters south-east of the site. The application site is within Flood Zone 1 (at low risk from fluvial flooding), based on Environment Agency Flood Maps and the

Strategic Flood Risk Assessment 2024. The site is not at risk from surface water flooding and the majority of the site is not at risk from groundwater flooding.

- 1.4 It is noted that a previous planning application reference 24/01684/FUL for the replacement of two self-build dwellings and with detached double garages was refused on the application site under delegated powers in November 2024 for the following reasons:

1. The deep plan form, height, materials, substantial footprint, staggered and set back arrangement from Oundle Road would form unduly striking and dominant development in the countryside. The double garage which projects forward from the principal elevation of the dwelling would fail to reflect the character and appearance of the adjacent properties. The proposal would detract unacceptably from the character and appearance of the countryside and encroach on the openness of the countryside by virtue of its scale, design, mass, and siting and it is therefore contrary to Policies LP10 part b, LP11 and LP12 of the Huntingdonshire Local Plan to 2036.

2. By virtue of the deep plan form, scale, mass and proximity to the boundary of adjacent properties, the proposed development specifically the plot to the west would result in significantly harmful overbearing impacts to the residential amenity of No. 1 Sheepwalk Cottage. It is therefore contrary to Local Plan Policy LP 14.

The Proposal

- 1.5 This current proposed planning application seeks to try and address the above previous planning applications reasons for refusal by proposing an amended design for the 2 new replacement dwellings. This application seeks to demolish the existing two detached dwellings and associated garage on the site, and erect two new 4-bedroom detached self-build dwellings. The proposed dwellings would be 2.5 storeys in height, designed with a wide frontage and shallow plan form, with subservient approximately 4.5m projecting rear extensions to provide a double height space for the family/dining areas. A detached pitched roof double garage is proposed for Plot 2.
- 1.6 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.
- 1.7 The application is supported by the following documents;
- Design and Access Statement
 - Proposed Drawings
 - Street Scene Elevation
 - Preliminary Ecological Appraisal

- Biodiversity Net Gain (BNG) Exemption Statement

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (12th December 2024) (NPPF 2024) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2024 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).
- 2.2 The NPPF 2024 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP3: Green Infrastructure
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP9: Small Settlements
 - LP10: The Countryside
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and vehicle movement
 - LP25: Housing Mix
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland Hedges and Hedgerows
 - LP34: Heritage Assets and their Settings
- 3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Developer Contributions SPD (2011)
- Huntingdonshire strategic Flood Risk Assessment (2024)
- Huntingdonshire Landscape and Townscape Assessment (2007)
- Huntingdonshire Tree Guidance Note 3
- RECAP CCC Waste Management Design Guide (CCC SPD) 2012

3.3 The National Design Guide (2021)

- * C1 - Understand and relate well to the site, its local and wider context
- * I1 - Respond to existing local character and identity
- * I2 - Well-designed, high quality and attractive
- * B2 - Appropriate building types and forms
- * M3 - Well-considered parking, servicing and utilities infrastructure for all users
- * H1 - Healthy, comfortable and safe internal and external environment

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

4.1 24/01684/FUL -Proposed two replacement self-build dwellings and two detached double garages.- Refused 18.11.2024

Refusal reasons:-

1. The deep pan form, height, materials, substantial footprint, staggered and set back arrangement from Oundle Road would form unduly striking and dominant development in the countryside. The double garage which projects forward from the principal elevation of the dwelling would fail to reflect the character and appearance of the adjacent properties. The proposal would detract unacceptably from the character and appearance of the countryside and encroach on the openness of the countryside by virtue of its scale, design, mass, and siting and it is therefore contrary to Policies LP10 part b, LP11 and LP12 of the Huntingdonshire Local Plan to 2036.
2. By virtue of the deep pan form, scale, mass and proximity to the boundary of adjacent properties, the proposed development specifically the plot to the west would result in significantly harmful overbearing impacts to the residential amenity of No. 1 Sheepwalk Cottage. It is therefore contrary to Local Plan Policy LP 14.

4.2 22/01353/FUL- Change of use of pasture to domestic garden.- Permitted 30.08.2022

- 4.3 1401716FUL-Demolition of 2 existing dwellings and erection of 2 replacement dwellings (revised)-Permitted 19.02.2015
- 4.4 APP/H0520/A/13/2207310- Appeal against refusal of application Ref 1300160FUL- Dismissed.
- 4.5 1300160FUL-Demolition of two existing dwellings and erection of two replacement dwellings and realignment of part of access road.-Refused 24.04.2013
- 4.6 1201219S73-Removal of condition 3 of H.163.73 relating to agricultural occupancy of two dwellings and garages.- Permitted 18.09.2012
- 4.7 0901074S73-Removal of condition 3 of H.163.73 relating to agriculture occupancy of two dwellings and garages- Refused 08.10.2009
- 4.8 0801263CLED- Use of property as a dwellinghouse without compliance with agricultural occupancy condition-Refused 24.06.2009
- 4.9 0801433FUL-Demolition of existing dwellings, erection of two dwellings, and realignment of farm access road-Withdrawn 25.06.2008

5. CONSULTATIONS

- 5.1 Elton Parish Council – Objection. The Parish Council object to the development proposal for the following reasons as summarised:
- Procedural Concerns: Alleged late notification to another landowner may render the planning application invalid due to a potentially defective Certificate B.
 - Impact on Heritage Assets: The “modern barn” style rear extensions (grey cladding, metal roofs) are out of character and would harm the setting of nearby Grade II listed buildings, contrary to national and local heritage policies.
 - Excessive Height and Footprint: The proposed dwellings are larger and taller than both the existing houses and previously refused schemes, resulting in a dominant and intrusive development that detracts from the countryside’s character.
 - Non-Compliance with Local Plan Policies: The scale, massing, and materials of the proposal do not comply with Local Plan Policies LP10, LP11, LP12, and LP33, which require modest increases and sensitive design in rural areas.
 - Onsite Sewage System Concerns: There are unresolved issues regarding the adequacy and location of the sewage system, with potential encroachment on neighbouring land and objections from the other landowner.
- 5.2 Conservation Officer- No objection. The Conservation Officer notes this application proposes the replacement of two existing

dwelling with two new barn-style houses, situated alongside the access road to Sheepwalk Farm. Sheepwalk Farm itself is a complex of Grade II listed buildings that have been converted into residential units. These listed buildings are located a significant distance from the application site. While the new dwellings are marginally larger than those they replace, the separation between the site and the listed structures is substantial enough that the modest increase in scale would not adversely affect the setting or significance of the heritage assets.

The listed buildings are located approximately 200 metres from the proposed new structures. It is considered that their architectural and historic interest would not be affected by this proposal. While reference has been made to the curtilage of the listed buildings, under current legislation this is generally regarded as the land immediately surrounding the buildings and does not typically extend along the access road to the farm buildings.

- 5.3 Local Highways Authority - No objection. Highways Officer noted the proposed two dwellings would replace the existing two dwellings and as such there will be no increase in vehicle movements. Although the access has not been dimensioned, highway records indicate that it is approximately 7m wide which is adequate for shared residential and agricultural access. No significant adverse effect upon the Public Highway should result from this proposal should it gain benefit of Planning Permission.
- 5.4 Urban Design Officer- No objection. The overall scale and massing are considered acceptable in design terms. The omission of the forward-projecting garage to Plot 1 is welcomed and directly addresses Reason for Refusal 1. The revised siting of Plot 1, offset from the rear garden boundary of No. 1 Sheepwalk Cottage by 5.2m–7.7m (compared with 4.3m in the refused scheme), together with the reduced gable depth, is supported. The elevations are acceptable in design terms and reinforce the intended barn-style character. The retention of 1.2m post-and-rail fencing with hawthorn hedging, alongside new hawthorn planting along the northern boundary adjacent to the access track, is supported. The revised proposals are considered acceptable in urban design terms.
- 5.5 Environmental Health Officer (EHO)- Initially the EHO raised no objection to the proposal however, following a second consultation response the EHO raised that the existing shared septic tank serving 1–4 Sheepwalk Cottages is inadequate and situated on third-party land, leading to contamination and management issues. Legal rights restrict any expansion of the system, making it unsuitable for increased demand from new development. Therefore, the applicant must submit a detailed drainage plan proposing a compliant sewage treatment package system that meets the Environment Agency's General Binding Rules to ensure a sustainable and lawful solution.

A condition requesting a foul drainage plan/strategy for the proposed dwellings could be secured by way of a planning condition if Members are minded to approve the application to ensure a foul connection can be secured for the dwellings.

Whilst it is noted that the septic tank serving the existing site is located on third-party land. Matters relating to land ownership/access are considered civil issues between the parties and do not constitute material planning considerations.

The proposal seeks to replace two existing dwellings with two new dwellings. In the event that the new dwellings cannot be connected to the existing foul drainage system, a condition would ensure that an appropriate alternative drainage solution is provided.

- 5.6 Environment Agency- No comments received.
- 5.7 Ecology Officer- No objection. Recommends the imposition of pre-commencement conditions seeking the details of a European Protected Species Licence, external lighting design and biodiversity method statement.

6. REPRESENTATION

- 6.1 Third party representations have been received from the occupants of nearby properties including the Stone Barn, 3 Sheepwalk Cottages and Billing Brook Barn. The following concerns have been raised by the third parties and have been summarised.
- Design not in keeping with nearby listed buildings; concerns over height and use of metal roofing.
 - Environmental risk from a failing cesspit; overflow contaminates neighbouring land used for grazing.
 - Non-compliance with planning policy and Building Regulations; drainage solution relies on third-party land and cannot support increased demand.
 - Application undeliverable in current form due to land ownership issues.
 - Legal right of way over site entrance will be disrupted by construction traffic.
 - No Certificate B notice served; co-owner not properly notified.
 - Grade II listed property not properly notified.
 - Scale and design remain excessive and out of character with the countryside.
 - Overbearing impact on neighbouring property (No. 1 Sheepwalk Cottage) not resolved.
 - Inaccurate site plan undermines proper assessment; application should be invalid.
 - Proposed hedge obstructs legal access; causes planning harm.
 - Heritage impact underestimated; listed building curtilage much closer than stated.

- Reflective materials (metal cladding/glazing) cause harmful glint and glare near heritage assets.
- 6.2 No third-party representations have been received in support of the development proposal.
- 6.3 It is acknowledged that both the Parish Council and third parties have raised concerns regarding procedural matters, specifically in relation to landowner notification prior to the submission of the application. To clarify, a Land Ownership Certificate B was submitted with the application, confirming that the applicants are not the sole owners of all land within the application site boundary. In accordance with statutory requirements, the applicants have confirmed that formal notice via post was served on the relevant landowners on 26/08/2025. The 21-day landowner notification period has now lapsed, and the application can be determined as due process has been followed.
- 6.4 The following sections of this report aim to address material planning considerations raised by third party representations and the parish council.

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of:
- Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan,

paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

- 7.5 The main issues to consider as part of this application are
- Principle of development
 - Design, Visual Amenity and Impact on the Character and Appearance of the Area
 - Residential Amenity
 - Highway Safety, Access and Parking Provision
 - Biodiversity
 - Flood risk and drainage
 - Other matters

Principle of Development

Housing Land Supply

- 7.6 This report should be read with the knowledge that the NPPF paragraph 78 requires the Council to identify and update annually a supply of specific deliverable sites sufficient to provide a minimum of five years' worth of housing against our housing requirement. A substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements was introduced on 12th December 2024 in the revised NPPF and associated NPPG (the standard method).

- 7.7 As Huntingdonshire's Local Plan to 2036 is now over 5 years old it is necessary to demonstrate a five-year housing land supply (5YHLS) based on the housing requirement set using the standard method. NPPF paragraph 78 also requires provision of a buffer to ensure choice and competition in the market for land. As Huntingdonshire has successfully exceeded the requirements of the Housing Delivery Test a 5% buffer is required here. The 5-year housing land requirement including a 5% buffer is 5,907 homes. The current 5YHLS is 4,345 homes equivalent to 3.68 years' supply.

- 7.8 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'. While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.

- 7.9 The application site although located within Elton Parish is sited approximately 1.5 miles east of the built-up area of the village of

Elton. The application site is located between the village of Chesterton and Elton and is within the open countryside whereby residential development in the countryside is usually resisted by Local Plan Policies except when the development accords with specific opportunities within the Local Plan for development in the countryside.

- 7.10 No.3 and 4 Sheepwalk were previously permitted in the countryside with a condition which restricted the use of the dwellings to agricultural occupants only. This condition however was removed under planning application 1201219S73 in September 2012. No.3 and 4 Sheepwalk are therefore now two open market dwellings located in the open countryside.
- 7.11 The planning history of the site also includes an application for the extension of the residential curtilages of No.3 and 4 Sheepwalk into the countryside permitted under application ref 22/01353/FUL in August 2022.
- 7.12 In this instance, the use of the site is already residential, and the application does not seek to alter the quantum of residential development on the site. The principle of development is therefore considered acceptable by virtue of its existing open market residential use on site, subject to other material planning considerations detailed below.

Design, Visual Amenity and Impact on the Character and Appearance of the Area

- 7.13 Policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036 states that developments should respond positively to their context, draw inspiration from the key characteristics of its surroundings and contribute positively to the area's character and identity. In addition, Policy LP10 of the Local Plan states that development in the countryside must recognise the intrinsic character and beauty of the countryside.
- 7.14 In regard to the immediate context of the site, No. 3 and 4 Sheepwalk Cottages are located in the open countryside, albeit the dwellings are sited at the end of a row of four buildings which comprise of two semi-detached dwellings. The adjacent dwellings dating back to the 1880's are of a traditional form, have a shared chimney stack and constructed using red bricks and slate roof tiles. Further afield to the east are Grade II listed buildings, the Farmhouse and Granary at Sheepwalk Farm, which can be viewed by the public across the shared driveway from Oundle Road, albeit at some distance. The listed buildings are constructed using stone and slate roof tiles.
- 7.15 The application seeks to replace the two detached 1970's dwellings and associated garages. The dwellings as existing are considered suburban in nature and the materials used in their

construction do not contribute well with the adjacent properties or nearby listed buildings.

- 7.16 A scheme to replace the dwellings with two contemporary style barns was refused planning permission under application reference 24/01684/FUL. Officers considered that the proposed dwellings failed to reflect the character and appearance of the adjacent properties due to their height, materials, deep plan form, substantial footprint, staggered and set back arrangement from Oundle Road.
- 7.17 Officers noted that in the previously dismissed appeal (ref. APP/H0520/A/13/2207310), which related to the same site and proposed two replacement residential dwellings, the Inspector raised concerns regarding the footprint of the proposed dwellings compared to the existing buildings. The smallest of the existing dwellings has a floorspace of 116m² (excluding the garage), whereas the contemporary barn-style dwellings previously refused had a combined floorspace of 533m².
- 7.18 In the Officer's report for the previously refused application (ref 24/01684/FUL), it was noted that the footprint, deep plan form (14.8m in length), and ridge height (8.5m) contributed to a greater perception of bulk and massing in the countryside setting.
- 7.19 In the current proposal, the two dwellings would have a combined floorspace of approximately 538m²—slightly larger than the previously refused scheme. However, the revised design now proposed incorporates wide frontages and subservient rear projecting elements, which are considered to reduce the overall perception of scale, bulk and mass. This approach is viewed as more sympathetic to the surrounding rural character of the area.
- 7.20 The previously refused scheme proposed two two-storey dwellings with a contemporary barn-style appearance, featuring shallow frontages and deep plan forms (approximately 14.7m deep and 9m wide), with ridge heights of 8.5m and eaves at 3.9m.
- 7.21 In contrast, the revised scheme proposes two 2.5-storey dwellings with ridge heights of 8.7m and eaves at 5.025m, including subservient rear extensions reaching 5.1m in height. The principal footprint of each dwelling is approximately 10.6m wide by 8.5m deep, with rear dining room extensions measuring approximately 9m wide x 4.5m deep.
- 7.22 It is acknowledged that the proposed dwellings are 0.2m taller to the ridge than those previously refused (ref. 24/01684/FUL), a concern raised by third parties and the Parish Council and cited as a reason for refusal.
- 7.23 However to address concerns regarding overbearing impact on neighbouring properties, the application is accompanied by a

street scene elevation informed by a topographical survey. This elevation has been reviewed by the Urban Design Officer, who notes that due to the lower ground level of the application site, the ridge height of the proposed dwellings would sit only 1m higher than the adjacent Nos. 1–2 Sheepwalk Cottages. This variation is considered minor.

- 7.24 In this context, it is considered that a refusal based solely on the height and visual impact of the proposed dwellings could not be justified. In addition, the Urban Design Officer concludes that the amended scheme is acceptable in terms of scale and massing and is more appropriate in design terms.
- 7.25 Third-party concerns regarding the design of the proposed dwellings and their relationship with nearby listed buildings are acknowledged. However, the existing 1970s suburban properties on site do not positively contribute to the character or setting of adjacent buildings, nearby heritage assets, or the wider countryside.
- 7.26 In contrast, the proposed replacement dwellings adopt a more traditional barn-style design, incorporating sympathetic materials such as stone walls, slate roofs, and recessed casement windows. This approach is considered to better reflect the rural vernacular and enhance the site's contribution to its surroundings.
- 7.27 The previous scheme was refused in part due to the use of contemporary materials, such as floor-to-ceiling glazing, timber cladding, metal sheet roofing, and aluminium windows, which were deemed unsympathetic to the historic and rural character of the area. While these materials may reflect agricultural buildings in the wider countryside, they contrasted with the traditional stone, red brick, and slate found locally.
- 7.28 Although some concerns regarding materials remain, the current proposal includes stone walls with stone headers and cills, recessed white uPVC flush casement windows, and slate roofs, which are much more in keeping with the local context. Grey cladding is proposed only on the subservient rear elements, which are not prominent in public views, and therefore deemed to be visually acceptable.
- 7.29 Additionally, both the Urban Design and Conservation Officers have reviewed the proposal and raised no objections to the proposed materials.
- 7.30 Therefore subject to the recommended conditions, Officers consider the proposed dwellings would integrate well with adjacent buildings, would respond positively to its streetscene and countryside context and would not result in any heritage harm to significance or setting of any nearby Listed Buildings. The proposal is therefore in accordance with Local Plan Policies LP11,

LP12, LP34 and Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act, and the NPPF.

Impact on Designated Heritage Assets

- 7.31 This application seeks to replace two existing residential dwellings in the countryside and whilst the site is not located within a Conservation area, it is located approximately 175 meters south-east from the Grade II listed Farmhouse and Granary at Sheepwalk Farm.
- 7.32 Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that the Local Planning Authority shall have "special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses".
- 7.33 Policy LP34 of the Local Plan to 2036 sets out that proposal should protect the significance of heritage assets such as Listed Buildings.
- 7.34 Officers acknowledge concerns raised by third parties and the Parish Council regarding the proposed design, height, and use of metal roofing in the new dwellings, as well as the perceived proximity and impact on nearby listed buildings.
- 7.35 To consider these concerns, the Conservation Officer was consulted, and they raised no objection to the proposed dwellings. Sheepwalk Farm, a complex of Grade II listed buildings, is located approximately 200 metres from the application site. The Conservation Officer confirmed that the proposed dwellings are only marginally larger than those they would replace and that the separation distance to the heritage assets would be sufficient to avoid harm to the setting or significance of them.
- 7.36 It was also clarified that the curtilage of the listed buildings does not extend to the application site, being generally limited to the land immediately surrounding the listed structures.
- 7.37 The Conservation Officer concluded that the proposal would not result in harm to the architectural or historic interest of Sheepwalk Farm, a view consistent with the assessment of the previously refused application (ref. 24/01684/FUL).
- 7.38 Accordingly, the proposal is considered to comply with Policy LP34 of the Huntingdonshire Local Plan to 2036, Section 16 of the NPPF, and Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

Residential Amenity

- 7.39 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.

Amenity of neighbouring properties

- 7.40 The closest residential dwelling to the application site is No. 1 Sheepwalk Cottages to the west. The garage of No.1 is located on the shared boundary with the application site. In considering this proposal regard must be given to the impact on the residential amenity of the closest residential dwellings No.1 and 2 Sheepwalk Cottages.
- 7.41 It is noted that the previous application was refused due to its deep plan form, scale, massing, and close proximity to the boundary with No. 1 Sheepwalk Cottage and the resulting overbearing impact on their residential amenity. It is acknowledged that third parties have also raised concerns that this amended proposal still does not address overbearing impacts to No.1 Sheepwalk.
- 7.42 However the proposed dwelling Plot 1 (western unit) would be sited at a minimum distance of 4.6 metres from the shared boundary with No. 1 Sheepwalk Cottage, increasing to 7.56 metres due to the angled positioning of the building.
- 7.43 In the earlier application, Plot 1 featured a deep plan form measuring 14.8 metres in length, combined with a ridge height of 8.55 metres and a limited side separation. These factors contributed to an overbearing impact on the residential amenity of No. 1 Sheepwalk Cottage.
- 7.44 In contrast, the current proposal has significantly reduced the massing of the dwellings, with now a wide frontage shallow plan form. The main gable depth has been reduced to 8.45 metres, with a subservient rear extension measuring 5.2 metres in depth. While the ridge height of the main dwelling has increased slightly to 8.7 metres, the single-storey rear extension would be 6.1 metres to the ridge, helping to break up the overall bulk and mass, and overbearing impact on the adjacent neighbour.
- 7.45 Overall, the reduction in building depth and increase in side separation is considered to overcome the previous concerns about the overbearing impact on the residential amenity of No.1 Sheepwalk Cottage. Therefore, Officers consider the previous Reason 2 for refusal has been overcome in this current proposal.
- 7.46 The proposed side first floor windows of Unit 1 face towards the rear amenity space of No.1 Sheepwalk however, these windows serve non habitable rooms a bathroom and an ensuite. It is therefore recommended if Members are minded to approve the

application, that a condition is imposed to ensure the windows remain obscured glazed and fitted with opening restrictors.

- 7.47 It is noted that neighbouring occupiers of the listed buildings to the east have raised concerns regarding the proposed material palette and potential glint and glare impacts. The application includes floor-to-ceiling glazing on the rear elevations of the proposed dwellings, which would face towards the listed buildings.
- 7.48 While glint and glare are recognised as material planning considerations, in this instance, the proposed glazing is located over 200 metres from the listed buildings. Given this substantial separation distance, Officers do not consider it reasonable or necessary to require the submission of a formal glint and glare assessment. Furthermore, it is considered that a refusal based solely on potential glint and glare impacts on residential amenity could not be justified in this context.
- 7.49 The Council's Urban Design Officer also consulted on the application, raises no objection to the proposal in terms of the impacts on nearby residential amenity.

Amenity for future occupiers

- 7.50 It is considered the proposed dwellings would provide a good level of amenity for future residents. The dwellings have been designed to meet the nationally described space standard for a 4-bedroom 8-person 3- storey dwelling. All proposed habitable rooms of the properties would be served with windows which offer acceptable levels of daylight and sunlight and would provide adequate outdoor private rear amenity space.
- 7.51 If Members are minded to approve the application, it is recommended that a condition is imposed to ensure the first-floor side windows on the eastern and western elevation of the dwellings are obscured glazed and fitted with opening restrictors.
- 7.52 Taking the above factors into consideration, Officers consider the proposed development to be acceptable in residential amenity terms and in accordance with Policy LP14 of Huntingdonshire's Local Plan to 2036, the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy Framework in this regard.

Highway Safety and Parking Provision

- 7.53 Policy LP16 of Huntingdonshire's Local Plan to 2036 encourages sustainable transport modes and Policy LP17 supports proposals where they incorporate appropriate space for vehicle movements, safe access onto the highway and adequate parking for vehicles and cycles.

- 7.54 The existing shared drive which serves the current properties No. 3 and 4 would remain unaltered by this proposal. The shared drive with Sheepwalk Farm is accessed off Oundle Road. Oundle Road is adopted by the Local Highways Authority and is subject to a 60-mph speed limit. It is noted that under application 24/01684/FUL the Local Highways Authority were consulted but did not make any comment at the time of determination.
- 7.55 Cambridgeshire County Council as the Local Highway Authority have been consulted on this application. The Highways Officer has noted that the proposal would replace two existing dwellings with two new ones, resulting in no increase in vehicle movements. Although the access is not dimensioned on the plans, highway records indicate it is approximately 7m wide, which is sufficient for shared residential and agricultural use. As such, the Highways Officer considers there would be no significant adverse impacts on highway safety if planning permission were to be granted.
- 7.56 The proposal incorporates car parking spaces for at least two vehicles for each proposed dwelling. Huntingdon District Council do not have car parking standards stipulating the number of vehicle spaces required in relation to the number of proposed bedrooms, as each case must be judged on its own merits taking account of the surrounding context. Officers consider that the two proposed vehicle parking spaces for each four-bedroom dwelling would be considered appropriate in this instance. Particularly as large driveway areas are proposed which would allow for more car parking on site should it be required.
- 7.57 In regard to cycle parking, Local Plan Policy LP17 requires the provision of secure cycle storage, with one cycle space per bedroom. The proposed double garage for Unit 2 meets the minimum internal dimensions set out in the HDC Design Guide SPD (p.95), providing capacity for two vehicles as well as cycle storage.
- 7.58 A garden storage box is proposed within the rear garden of Unit 1 to serve as cycle storage. Accompanying floor plans and elevations confirm that the proposed store is adequately sized to accommodate four bicycles. The structure would be finished in profiled grey cladding, which is considered acceptable in terms of design and materials. The cycle storage provision proposed could be secured by way of a planning condition.
- 7.59 In light of the above, the proposal is considered acceptable in terms of highway safety and is compliant with policy LP17 of the Huntingdonshire Local Plan to 2036.

Biodiversity

- 7.60 Paragraph 187 of the NPPF (2024) states planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of the Local Plan dovetails this and requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible.
- 7.61 A Preliminary Ecological Appraisal (PEA) dated August 2024 accompanied the application and states the site is of negligible ecological importance, albeit the retained garden hedgerow represents a Priority Habitat. The report concludes that no significant harm to any habitats or faunal species of interest would occur as a result of the proposed development.
- 7.62 The report provides recommendations to protect bats, birds, hedgehogs and retained trees and offers biodiversity enhancement measures including the installation of bird and bat boxes, hedgehog domes and planting of native species. These could be secured by way of a planning condition if Members are minded to permit the development.
- 7.63 A Dusk Emergence Survey (detailed in the submitted PEA) was undertaken as part of the accompanying appraisal. The survey confirmed the presence of an active roost in Building B1 (No. 3 Sheepwalk). The report identified that the active Brown long-eared Bat Day roost associated with the internal void of No 3 Sheepwalk would be lost under the proposals. Chapter 5 of the report recommends several mitigation measures, including the securement of a Natural England mitigation licence prior to commencement to ensure individual bats are not harmed during the works and to ensure that all local bat populations are fully safeguarded. The Phase 2 survey has been reviewed by the Ecology Officer, who has confirmed that there are no objections to the proposal.
- 7.64 The Ecology Officer has recommended that pre-commencement conditions are imposed should Members be minded to approve the application to secure details of the Natural England Mitigation Licence, an external lighting design and biodiversity mitigation and enhancement recommendations as detailed in the PEA.
- 7.65 As of the 2nd April 2024 a mandatory 10% Biodiversity Net Gain (BNG) was imposed on small sites. A BNG Self-build exemption statement has been submitted which confirms the application falls within the self-build exemption. The evidence confirms the applicants have had the primary input into the final design and layout of the dwellings and would occupy the proposed dwellings themselves and as such the application is considered within the definition of Section 1(A1) of the Self-build and Custom

Housebuilding Act 2015. Officers are satisfied the proposal is exempt from a mandatory net gain as the development is self-build. If Members are minded to approve the application, a condition is recommended to ensure the properties would be self-build properties as per the definition, as it is on this basis only that 10% BNG is exempt and would not be secured.

- 7.66 Subject to the imposition of the above recommended conditions, the proposal is considered to accord with the objectives of Policy LP30 of Huntingdonshire's Local Plan and Section 15 of the National Planning Policy Framework in this regard.

Flood Risk and Drainage

- 7.67 National guidance and Policy LP5 of the Local Plan seek to steer new development to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 172-179 of the NPPF (2024)).
- 7.68 The application site is within Flood Zone 1 (at low risk from fluvial flooding), based on Environment Agency Flood Maps and the Strategic Flood Risk Assessment 2024. The site is not at risk from surface water flooding and the majority of the site is not at risk from groundwater flooding. Given this and the site is less than 1 hectare in size, the submission of a flood risk assessment, sequential and exceptions tests for flooding are considered unnecessary in accordance with the NPPF and NPPG.
- 7.69 The submitted application form states surface water would be disposed of through soakaways and foul water would be connected into the existing sewage system on site.
- 7.70 Officers acknowledge concerns raised by third parties regarding the capacity of the existing foul drainage system and the location of the proposed drainage solution on third-party land. While it is recognised that the drainage infrastructure lies outside the applicant's ownership, issues relating to land ownership and access rights are civil matters and do not constitute material planning considerations.
- 7.71 Following a second consultation, the Environmental Health Officer (EHO) raised concerns regarding the existing shared septic tank serving Nos. 1–4 Sheepwalk Cottages. The EHO raised the tank is located on third-party land, is inadequate for current use, and cannot be expanded due to legal constraints, resulting in contamination and management issues.

- 7.72 At the EHO's request, the Environment Agency (EA) was consulted during the application process. However, the EA did not provide comments at the time of writing the DMC report.
- 7.73 Notwithstanding the above, should Members be minded to approve the application, it is recommended that a condition be imposed requiring details of the proposed foul water disposal, to ensure that an appropriate means of disposal can be secured.
- 7.74 The application proposes the replacement of two existing dwellings with two new dwellings, so normally a foul drainage condition would not be required, but as issues have been raised by our Environmental Health colleagues it seems prudent in this instance to apply a condition.
- 7.75 Overall, the proposal is considered acceptable in terms of flood risk and foul drainage and is therefore compliant with Policies LP5, LP6, and LP15 of the Huntingdonshire Local Plan to 2036, as well as Section 14 of the National Planning Policy Framework.

Accessible and Adaptable Homes

- 7.76 Policy LP25 of the Local Plan to 2036 requires proposals that include housing to meet the optional Building Regulation requirement M4(2) "Accessible and adaptable dwellings" unless it can be demonstrated that site specific factors make this unachievable. A condition is recommended to be imposed upon any granted consent to ensure that the dwellings are built in accordance with these standards and maintained for the life of the development.

Water Efficiency

- 7.77 Policy LP12 of the Local Plan to 2036 requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G of the Building Regulations. A condition is recommended to be imposed upon any granted consent to ensure that the dwellings are built in accordance with these standards and that they are maintained for the life of the development.

Developer Contributions

Wheeled Bins

- 7.78 Given the application is for the replacement of two residential dwellings already serviced with a wheeled bin provision, the submission of a Unilateral Undertaking is considered unnecessary in this instance. The application therefore accords with part H of the Developer Contributions Supplementary Planning Document (2011) and Policy LP4 of the Local Plan to 2036 in this regard.

Conclusion

- 7.79 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.
- 7.80 A revised NPPF was published in December 2024, introducing a substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements. This has resulted in the Council being unable to demonstrate a 5 Year Housing Land Supply (5YHLS). While no 5YHLS can be demonstrated Local Plan policies concerned with the supply and location of housing, as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036, are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.
- 7.81 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of dwellinghouses. This is generally referred to as 'the tilted balance'.
- 7.82 In regard to paragraph 11 (d) part i, it is considered there are no strong reasons for refusal in relation to any habitats sites (and those sites listed in paragraph 194) and/or designated as Sites of Special Scientific Interest, Local Green Space, irreplaceable habitats; designated heritage assets (and other heritage assets of archaeological interest referred to in footnote 75) and areas at risk of flooding. Therefore, the 'tilted balance' is engaged.
- 7.83 A tilted balance approach should be applied in the assessment of the proposed development, and a balancing exercise should be carried out to determine the potential any adverse impacts of doing so would significantly and demonstrably outweigh the benefits in accordance with paragraph 11 (d) part ii.

The Planning Balance

- 7.84 The application seeks full planning permission to demolish the two detached dwellings and associated garages on the site and erect two replacement 4-bedroom detached self-build dwellings.
- 7.85 Although the site lies outside the defined built-up areas of Elton and Chesterton, the principle of residential development on site is established, and the proposal seeks to replace the 2 existing dwellings with 2 new dwellings, therefore the principle is considered to be acceptable.
- 7.86 The design of the proposed dwellings under this application has addressed previous reasons for refusal in relation to the proposed

height, materials, and deep plan form. Amendments to both the site layout and the architectural design have also resolved earlier issues regarding the residential amenity impacts on neighbours.

- 7.87 While the proposed dwellings would be slightly taller than the adjacent semi-detached cottages and would have a larger overall floorspace than the existing units, the resulting harm is considered minimal due to the siting, scale and design of the dwellings.
- 7.88 In terms of the environmental dimension of sustainable development, the proposal presents opportunities for incorporating energy efficiency and biodiversity enhancement measures, which is afforded moderate weight.
- 7.89 Regarding the economic dimension, the development would contribute to economic activity, albeit modestly, primarily through job creation during the construction phase. This is afforded limited weight.
- 7.90 It is concluded that there is no identified harm that would significantly and demonstrably outweigh the benefits when considering all the positives and negatives of the proposal into account.
- 7.91 When taking all the positives and negatives of the proposal into account, the harm identified would not significantly and demonstrably outweigh the benefits. Therefore, having regard to all relevant material considerations, it is recommended that planning permission be approved.

8. RECOMMENDATION – APPROVAL subject to the following conditions regarding:

1. Time limit
2. Approve plans
3. Material Compliance
4. Soft landscaping and boundary treatments
5. Self-build definition dwelling.
6. Biodiversity Method Statement
7. Bat licence
8. External Lighting Design
9. Obscure glazing and restrictors on first floor side elevation (east and west) windows servicing ensembles and bathrooms.
10. Parking and turning provision and retention
11. Cycle parking
12. Foul drainage condition
13. Water efficiency
14. M42 (accessible and adaptable) compliance.
15. Levels

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388424 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Charlotte Dew Senior Development Management Officer** – charlotte.dew@huntingdonshire.gov.uk

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Head of Planning Services
Pathfinder House
St. Mary's Street
Huntingdon
Cambridgeshire PE29 3TN

Planning Application: 25/01436/FUL

Case Officer: Charlotte Dew

Proposal: Demolish two existing 2-storey, 3-bedroom detached houses and build two replacement 4-bedroom detached houses and a detached double garage

Location: 3 and 4 Sheepwalk Cottages, Oundle Road, PE8 6SE

Observations of Elton Parish Council

Please  box as appropriate



Elton Parish Council

 Parish Clerk

Preamble

- Elton Parish Council understands there may be concerns regarding the lawfulness of this planning application as it is alleged the Applicant failed to deliver the proper notification to the other landowner as legally obliged before submitting the planning application – if this is the case, the Certificate B of the planning application may be defective and the planning application could be invalid and challenged in the High Court. It is known that the Applicant delivered the required notice to the other landowner by Recorded Delivery on 27 August 2025; but late notification does not lawfully remedy the defective Certificate B as the notice must be served before submitting the planning application.
- Elton Parish Council notes this planning application 25/01436/FUL, 30 July 2025, is a re-application of planning application 24/01684/FUL, 13 September 2024, to which Elton Parish Council recommended refusal on 14 October 2024, and HDC refused planning permission on 18 November 2024.
- In this planning application 25/01436/FUL, the Applicant has made changes to plot layout, building orientation, removal of a double garage, and changes to building materials to mitigate some of the reasons for refusal back in November 2024. In particular, the change of design of the front and sides of the dwellings to “traditional barn style” with stone walls and slate roofs reduces the harm to the street view from the Oundle Road.



Elton Parish Council recommends REFUSAL because

Impact and harm to setting of heritage assets

The proposed design of the “modern barn” style for the large rear extensions of both dwellings remains with smooth grey cladding with some vertical timber cladding, dark grey aluminium windows and doors and roofs of grey standing seam metal sheeting which would be out of character and have an adverse impact on the setting of the nearby Grade II listed buildings, located only 194 m away (Sheepwalk Farmhouse [late-17th century or early-18th century limestone building with Collyweston stone slated roofs] and Billing Brook Barn [listed as “Granary to the north of Sheepwalk Farmhouse”, late-18th century or early-19th century limestone building with Collyweston stone slated roof]). The proposal with such modern and incongruous materials fails to respect the traditional rural character of the area and would cause harm to the significance of the heritage asset, contrary to the NPPF and the Planning (Listed Buildings and Conservation Areas) Act 1990 and HDC Local Plan policy LP 34: Heritage Assets and their Settings.

Height and footprint

Reasons for refusing planning application 24/01684/FUL in November 2024 included objections regarding the “*deep pan form, height, materials, substantial footprint, staggered and set back arrangement from Oundle Road would form unduly striking and dominant development in the countryside. The proposal would detract unacceptably from the character and appearance of the countryside and encroach on the openness of the countryside by virtue of its scale, design, mass, and siting.*”

- The 2024 proposed height to roof ridge was 8.558 m and the combined ‘footprint’ was 265.5 sq.m.

Although changes have been made to the orientation of the buildings and the materials at the front of the buildings, the modern materials remain at the rear of the buildings, and **the height and footprint have even increased compared with the planning application refused in November 2024.**

Planning application	Building Style	Height to roof ridge (m)	Total combined footprint (sq. m)
Current buildings	“1970’s suburban housing”, built 1973-1974, brick walls, grey pantile roofs (no traditional features or materials of other buildings in the area).		161 sq.m.
25/01436/FUL, 30 July 2025	Front: “Traditional barn” style, stone walls. Rear: “Modern barn style” grey cladding walls, grey metal sheeting roofs.	8.70 m	298.5 sq.m (including garage)
24/01684/FUL, September 2024, REFUSED, November 2024	“Modern barn style” grey cladding walls, grey metal sheeting roofs.	8.558 m	265.5 sq.m (excluding garages)
1401716FUL, 2015, GRANTED (since lapsed)	To be built in line with, and similar style of red brick walls and tile roofs, of neighbouring 1-2 Sheepwalk Cottages.	6.6 m	164 sq.m
1300160FUL, REFUSED, 2013 (Appeal rejected 2014)		7.363 m	239 sq.m

The height and total combined footprint of the proposed development fails to comply with HDC Local Plan Policy LP10: The Countryside; Local Plan Policy LP 11: Design Context; Local Plan Policy LP 12: Design Implementation; and Local Plan Policy LP33: Rural Buildings which states, “**A modest increase in floorspace will be supported**”; “any extension or alteration would **not adversely affect the form, scale, massing or proportion of the building**”; “The position of the replacement buildings within the site should be considered comprehensively so that it is located where it would have the least possible adverse impact on the immediate surroundings, the wider landscape and the amenity of the users of existing buildings nearby.”

When Huntingdonshire District Council granted planning permission reference 1401716FUL, 19 February 2015, the replacement dwellings were to be in line with, a similar height (maximum 6.600 m) as, and very similar appearance and design as the traditional red brick, black slate roof semi-detached dwellings of

neighbouring 1-2 Sheepwalk Cottages; and, with a combined footprint of 164 sq.m for the replacement houses, only slightly more than the 161 sq.m footprint of the existing houses, so, only a modest increase in combined area, compliant with HDC Local Plan policies.

When the earlier planning application 1300160FUL was refused in April 2013 (and the subsequent appeal against refusal of planning permission was rejected in 2014), reasons for refusal included the proposed development involving more than a modest change in building size (with a footprint of 239 sq.m, nearly 50% greater than the 161sq.m of the existing buildings, and significant increase to the height of the buildings [up to 7.363 m]); thus concluding that the buildings would not be well related to their setting being so prominent and intrusive, materially increasing the impact of the proposal on the surrounding countryside to the detriment of its character and appearance.

Onsite sewage system

Concerns have been expressed regarding the state of repair, effectiveness and capacity of the existing onsite septic tank sewage system, which is located on neighbouring land of the other landowner, and whether the current system needs to be repaired or enlarged requiring encroaching on the other landowner's land (apparently, the other landowner has refused permission for any such encroachment). Perhaps, a new sewage system could be installed on land fully owned by the Applicant and in accordance with current regulations and guidelines? **Refer to expert opinion provided by the HDC Environmental Health Officer, 1 September 2025.**

Conclusion

Elton Parish Council works for the benefit of the parish of Elton and the residents thereof, reflecting the wishes of the residents of the parish.

The Applicant is a resident of Elton, and the parish council supports the desire of the Applicant to improve their family home for better enjoyment.

However, valid objections have been received from neighbouring dwellings and the parish council understands and accepts the objections raised.

The parish council recommends refusal of planning application 25/01436/FUL due to the height and footprint of the proposed development and the appearance and incongruous materials of the "modern barn" style of the large rear extensions of the proposed dwellings which could be non-compliant with Local Plan Policies LP 10, LP 11, LP12 and LP 33; the impact and harm to the setting of nearby heritage assets which may be non-compliant with the NPPF, Planning (Listed Buildings and Conservation Areas) Act 1990 and HDC Local Plan policy LP 34: Heritage Assets and their Settings; and concerns regarding the onsite sewage system as stated by neighbours and by the HDC Environmental Health Officer.

[Redacted Signature] Clerk to Elton Parish Council *(For GDPR purposes please do not sign)*

Date: **2 September 2025**

Failure to return this form within the time indicated will be taken as an indication that the Parish Council does not express any opinion either for or against the application.

Please send response to email address below:-

Development.control@huntingdonshire.gov.uk

(Development Management)

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Head of Planning Services
Pathfinder House
St. Mary's Street
Huntingdon
Cambridgeshire PE29 3TN


Planning Application: 25/01436/FUL

Case Officer: Charlotte Dew

Proposal: Demolish two existing 2-storey, 3-bedroom detached houses and build two replacement 4-bedroom detached houses and a detached double garage

Location: 3 and 4 Sheepwalk Cottages, Oundle Road, Elton PE8 6SE

Observations of Elton Parish Council

Please  box as appropriate



Elton Parish Council
Kerry Rew, Parish Clerk



Elton Parish Council still recommends REFUSAL because

The amendments submitted on behalf of the Applicant on 28 October and 13 November 2025 fail to address any of the concerns previously expressed by Elton Parish Council as described in the recommendation to refuse planning permission submitted by the parish council on 2 September 2025.

The only change from the Applicant since the previous recommendation from Elton Parish Council on 2 September 2025 seems to be changes to the height and design of the proposed double garage and addition of a separate cycle store.

- The revised garage design drawings of 28/10/25 (6807/03F) and 13/11/25 (6807/03G) both show an increase in the height of the garage to 5.784 m compared with the lower height of only 4.59 m originally proposed on 30 July 2025.

The changes to garage design and addition of a cycle store have no relevance to the comments and recommendation submitted previously by Elton Parish Council.

The proposed increase in height of the garage building reinforces the comments submitted by the parish council objecting to the height and size of the development as described in the planning application.

Therefore, Elton Parish Council continues to recommend refusal for the same reasons stated on 2 September 2025, being:

Height and footprint of the proposed replacement buildings

The current Local Plan states “A modest increase in floorspace will be supported”; “any extension or alteration would not adversely affect the form, scale, massing or proportion of the building” – this planning application fails to comply with the planning policies of the current Local Plan.

The height and footprint of the proposed buildings were reasons for refusal of planning application 24/01684/FUL in November 2024 (“deep pan form, height **[8.558 m]**, materials, substantial footprint **[298.5 sq.m]**, staggered and set back arrangement from Oundle Road would form unduly striking and dominant development in the countryside. The proposal would detract unacceptably from the character and appearance of the countryside and encroach on the openness of the countryside by virtue of its scale, design, mass, and siting.”).

The height and footprint of the proposed buildings were also reasons for refusal of planning application 1300160FUL in 2013 (Appeal rejected 2014) with a proposed height of 7.363 m and area of 239 sq.m, concluding that the proposal involved “more than a modest change in building size” and “the buildings would not be well related to their setting being so prominent and intrusive, materially increasing the impact of the proposal on the surrounding countryside to the detriment of its character and appearance.”

Concerns regarding the onsite sewage system - refer to previous comments from Elton Parish Council and opinion provided by the HDC Environmental Health Officer, 1 September 2025, requiring a legally compliant long-term drainage solution.

Impact and harm to the setting of heritage assets, being the nearby Grade II listed late-17th to early-19th century buildings.

Conclusion

When considering the planning policies of the current HDC Local Plan; the height and footprint of the proposed buildings; and the opinion of the HDC Environmental Health Officer relating to the onsite sewage system, the planning application cannot be approved with the development as currently described. (For further comment, refer to the recommendations from Elton Parish Council submitted earlier on 2 September 2025.)

[Redacted] Clerk to Elton Parish Council (For GDPR purposes please do not sign)

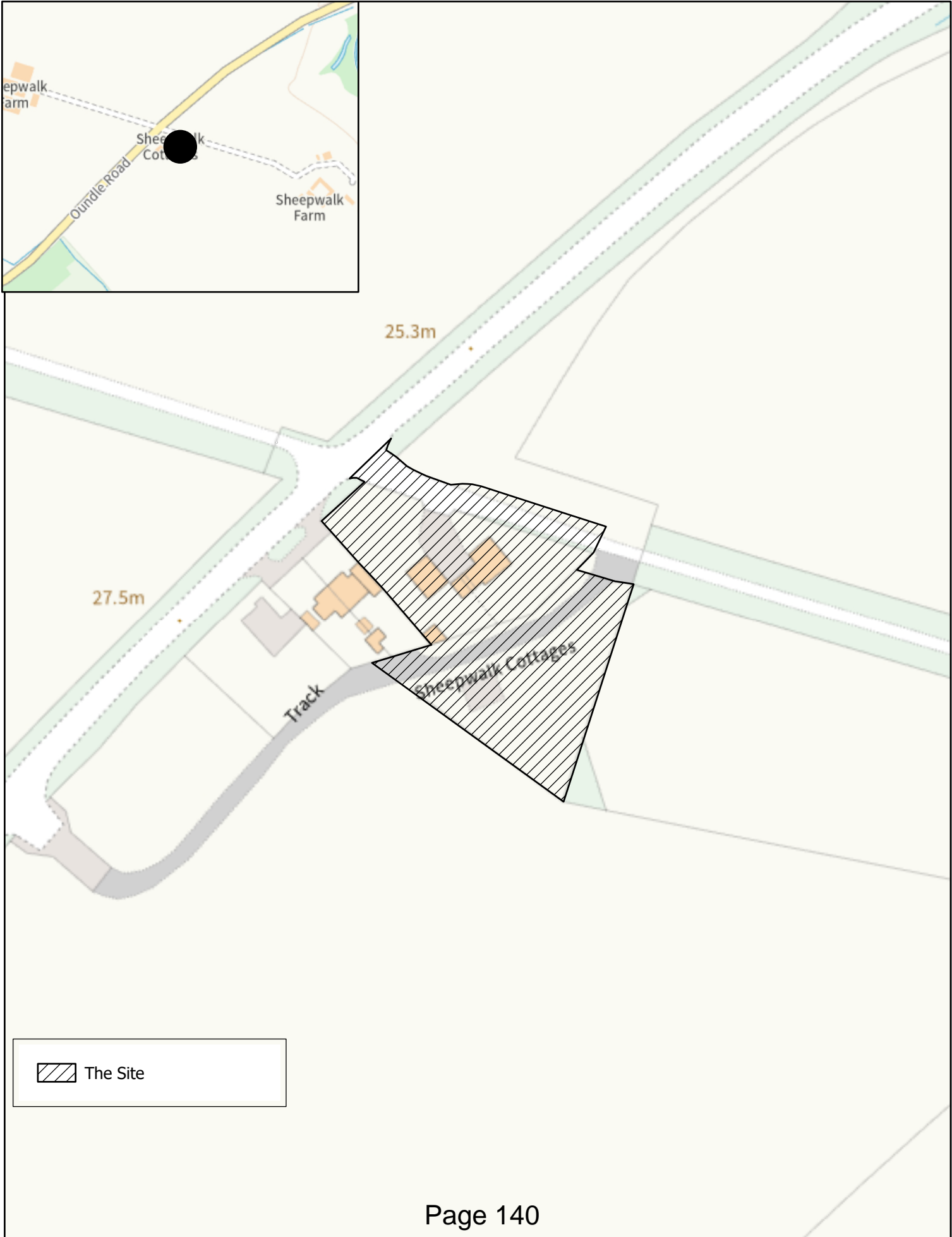
Date: **28 November 2025**

Failure to return this form within the time indicated will be taken as an indication that the Parish Council does not express any opinion either for or against the application.

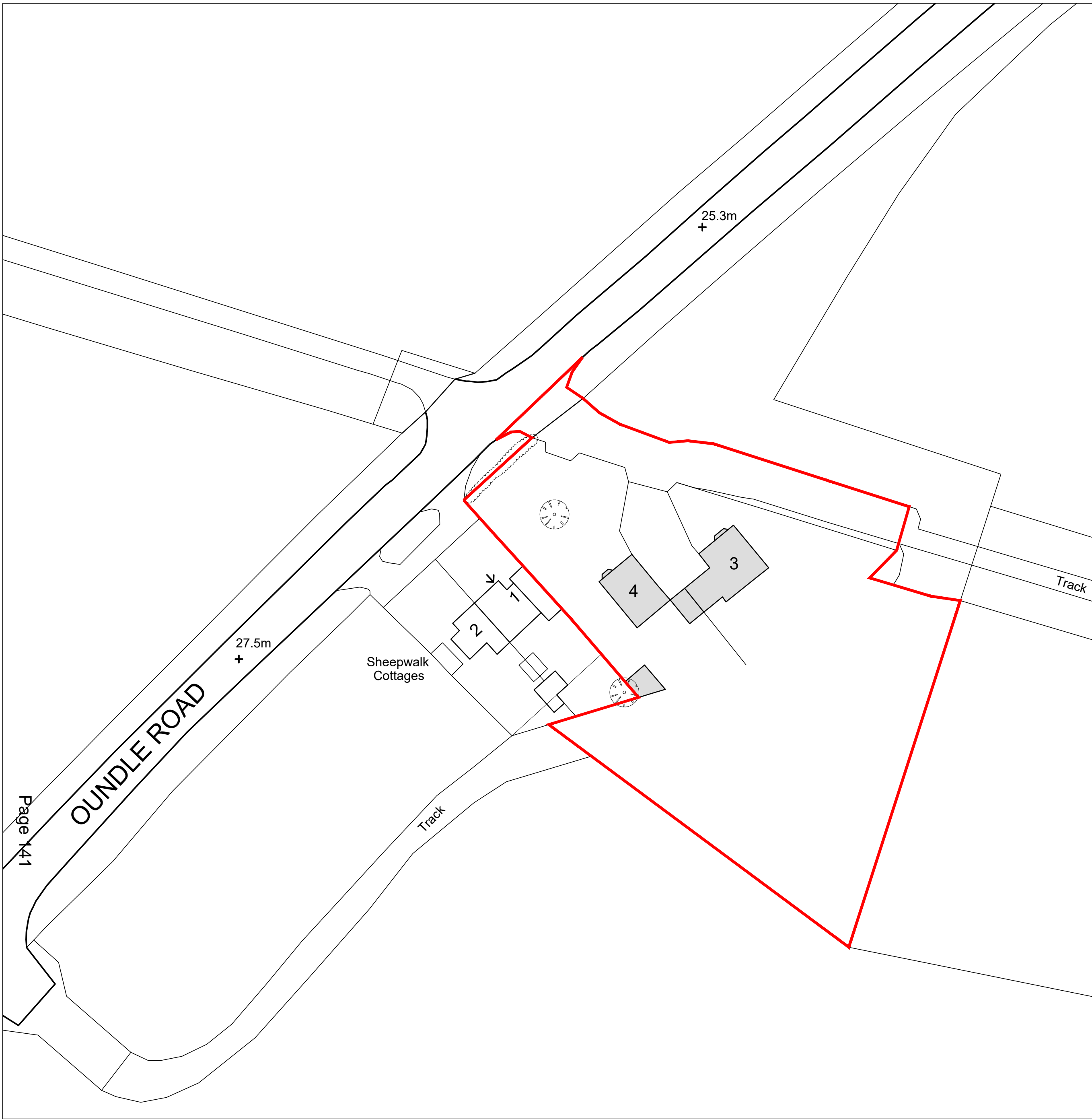
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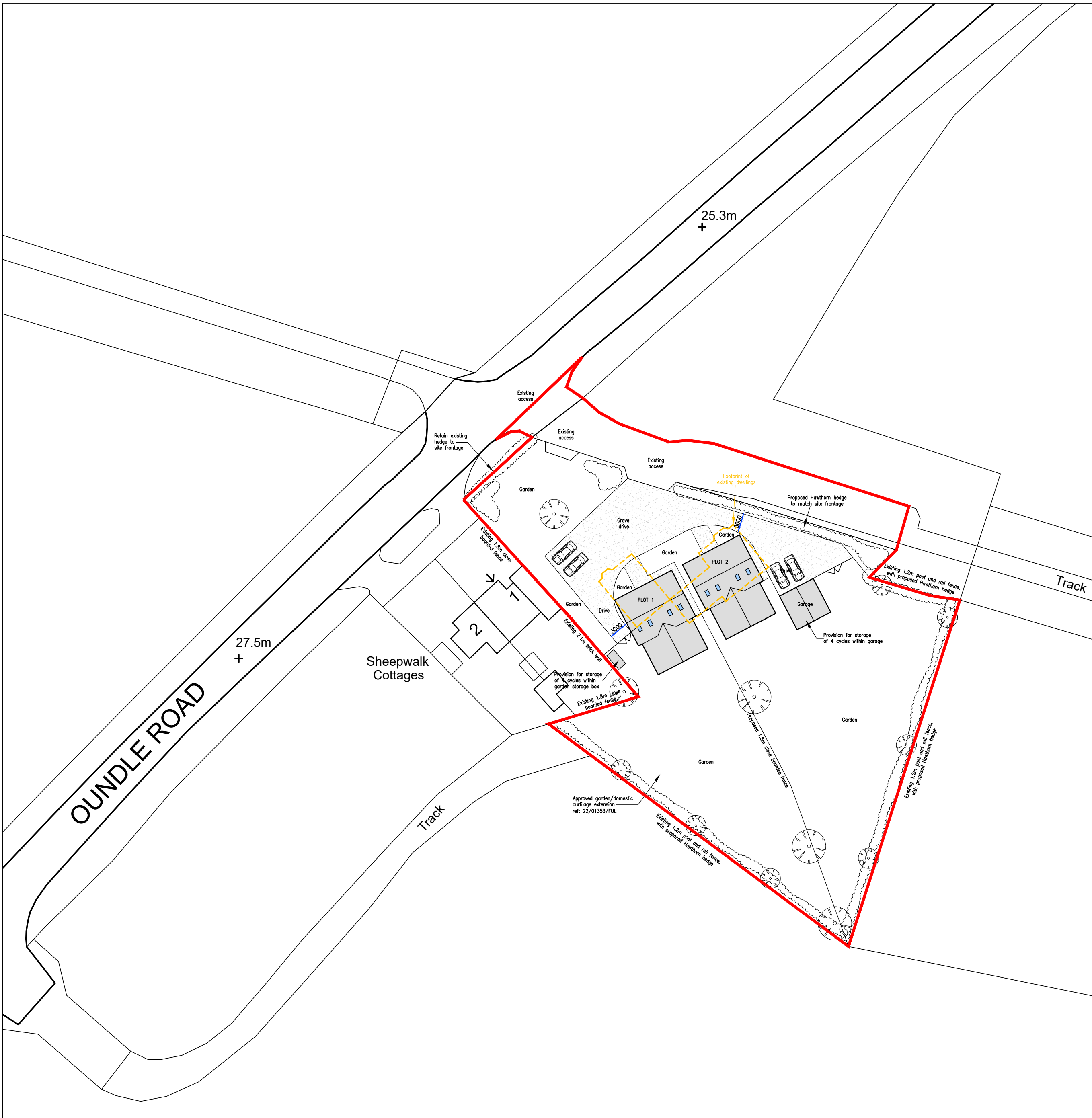
(Development Management)



 The Site



Existing Site Plan 1:500



Proposed Site Plan 1:500

SOFT LANDSCAPING:

GRASSES

Plant with native species rich lawn seed mix at rate of 10g/m², or similar to supplier's recommendation. Ensure even mixing of all seed varieties at all times and use broadcasting machine to spread the quantity specified. Apply in two equal passes in transverse directions. Rake in the seed and roll with a lightweight roller.

NATIVE HAWTHORN HEDGING

Two hedgerows will be planted using UK native woody hedge species with a minimum of the UK hedge species per 30m length of hedge, and at least one UK native tree species planted within the hedge for every 50m hedge length. Tree planting spacings within the hedge will be staggered (minimum 10m gap between trees) and not at regular planting intervals to maintain a naturalistic appearance. Trees in hedges will be planted as standards with girths of 10-12 cm. Upon delivery the plants should be checked, unpacked and watered immediately. They should be protected from frost and gently heeled in to a prepared trench until planted which should be as soon as practicable after delivery. This will ensure the plants do not dry out. Avoid planting in frosty conditions and keep roots covered during the planting operation (preferably in a light proof bag).

HEDGE PLANT PROTECTION

450mm x 30mm spiral plant guards are to be used to protect plants from rabbits and should be secured with a suitable cane or stake. Ensure spiral guards are installed the correct way up to avoid tree strangulation.

TREES

Native trees in locations shown on proposed site plan. Trees will be planted when soils are moist and free from frost, the traditional tree planting period is November through to March. The width of the tree planting pit will be a minimum of one and half times as large as the root-ball/cotainer and up to a maximum of two times as wide. Tree guards, stakes and ties will be used to prevent damage from deer/rabbits and high wind during the establishment phase.

All trees should be 68-10cm girth Standard trees either rootballed or container grown and should be single staked with 75mm minimum diameter stake free from bark with one end pointed. Tree Pits to be 600x600xdepth of rootball or cotainer (or 150mm wider than the round rootball whichever is greater) do not plant deeper than the soil mark on the stem. Break up pit base to avoid compaction. Drive 1 stake upright/vertical into bottom of excavated planting pit before planting. Saturate root ball of container grown and rootballed plants before planting. Backfill with excavated material incorporating compost at 1m³ per 3m³ of soil excavated. Use Super Soft Tree Ties to fix tree to stake no spacer required. Water thoroughly immediately after planting and at intervals as necessary until trees are established. Apply 75mm bark mulch to planting surface. Fit spiral tree guard to tree base.

The trees proposed will be chosen from the following list:

1. Sorbus aucuparia
2. Prunus avium Plena
3. Standard Malus sylvestris

MANAGEMENT/MAINTENANCE

GENERAL

Contractor to attend site as necessary (at least 12 times) for the first 12 months following completion to ensure successful establishment. Plants supplied and planted by the Contractor which fail to thrive within a period of 12 months shall be replaced at contractors expense with the same species to match the size of adjacent plants of the same species at the next suitable planting season, unless otherwise agreed. Maintenance of individual plot landscaping to be taken on by householder as each house is occupied. Shrub areas to be maintained by contractor.

Damaged shoots and/or branches to be pruned back to healthy wood in accordance with good horticultural practice. All plant debris, clippings, litter and general plant detritus to be removed from site at contractor's expense.

WATERING

Planted areas to be watered as necessary (to field capacity) to ensure good establishment. Tree to be watered regularly in response to weather conditions (minimum 25 lts at each watering).

WEEDS

All planting areas to be kept free of weeds by hand weeding/hoeing unless otherwise agreed. Top up mulches as necessary with similar

TREES

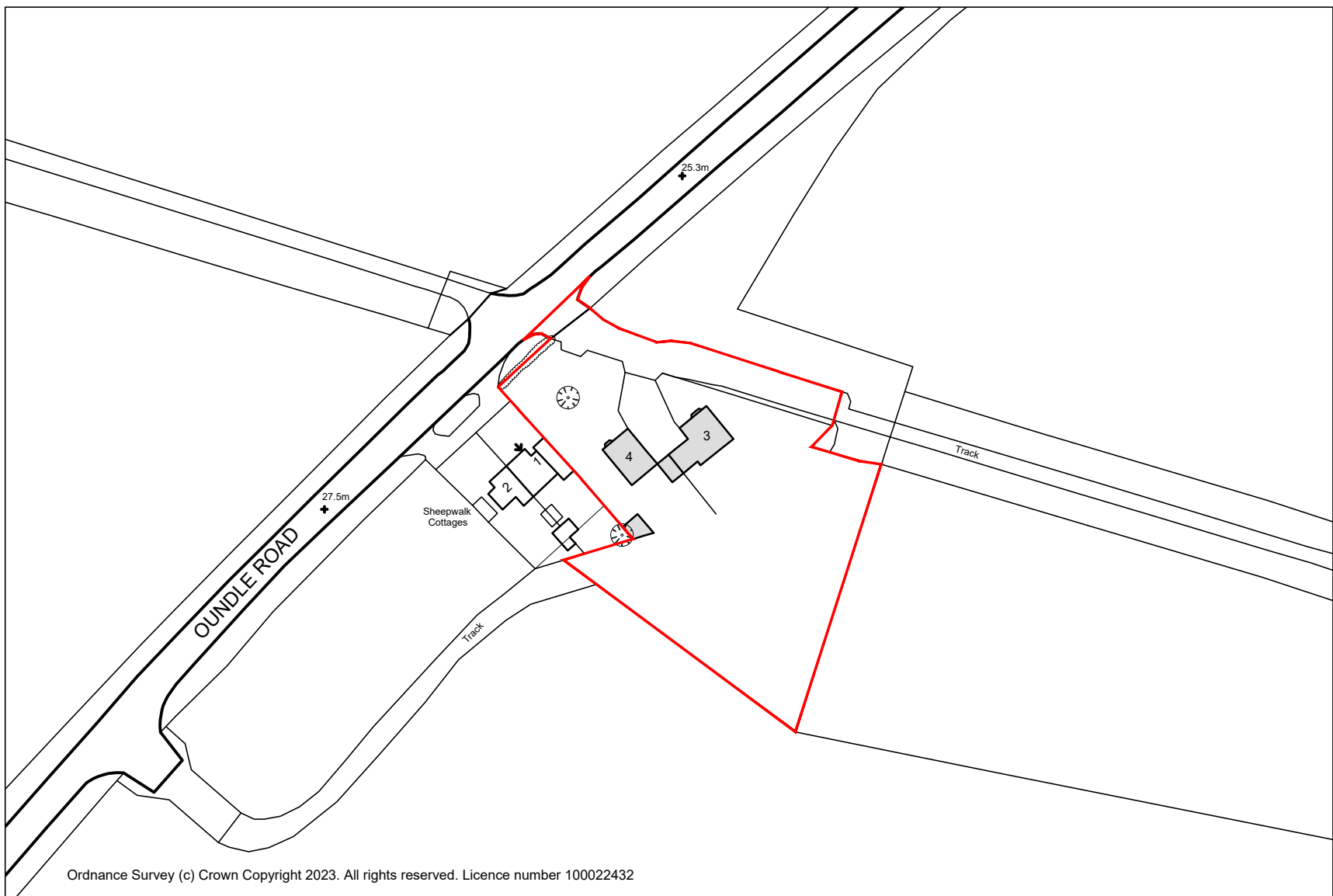
All tree ties to be checked periodically and adjusted as necessary. Replace damaged ties. Replace broken stakes with new. Top Up mulches as necessary with similar

HEDGING

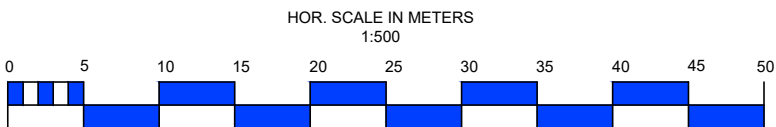
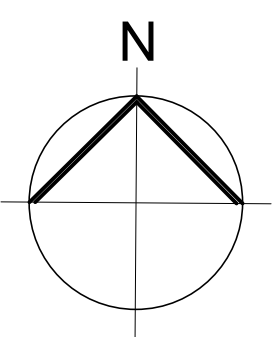
All hedge plants should be periodically checked and dead or dying plants replaced up to a period of 5 years from planting. Weeds growing within the planting bed should be removed paying particular attention to weeds growing within the spiral guards. These should be removed and the guards adjusted accordingly. As the hedge reaches the required height the plant tops can be trimmed to allow more horizontal growth and side trimming can occur once the desired width is reached. Trimming should only occur outside the nesting season. Once well established the spiral guards can be removed (3 to 5 years approximately).

GRASS AREAS

Newly turfed and seeded areas to be lightly rolled once they reach 50mm sward heights. Then cut to 40mm and remove all clippings. Make good any bare patches at this time. Grass areas to be regularly trimmed to maintain a 40mm sward.



Location Plan 1:1250



A - REVISIONS		
JOB NO.	PAPER SIZE	DATE
6807/02P	A1	DEC 2024

Notes:
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All dimensions shown on the drawing are in millimeters unless stated otherwise. If the drawing is received electronically (PDF) it is the recipient's responsibility to ensure it is printed to the correct paper size. All dimensions to be checked on site prior to commencing work and any discrepancies to be highlighted immediately.

The Construction (Design and Management) Regulations 2015:
Peter Humphrey Associates' form of appointment with the client confirms whether the agent is appointed as 'Designer' or 'Principal Designer' under these regulations. Nevertheless, the design phase has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already been apparent to a competent contractor.

CLIENT
DANIELLA CALITRI
PROJECT
PROPOSED REPLACEMENT DWELLINGS

SITE
3-4 SHEEPWALK COTTAGES
OUNDE ROAD
ELTON
CAMBS
PE8 6SE

DRAWING
PLANNING DRAWING 2



PETER HUMPHREY ASSOCIATES

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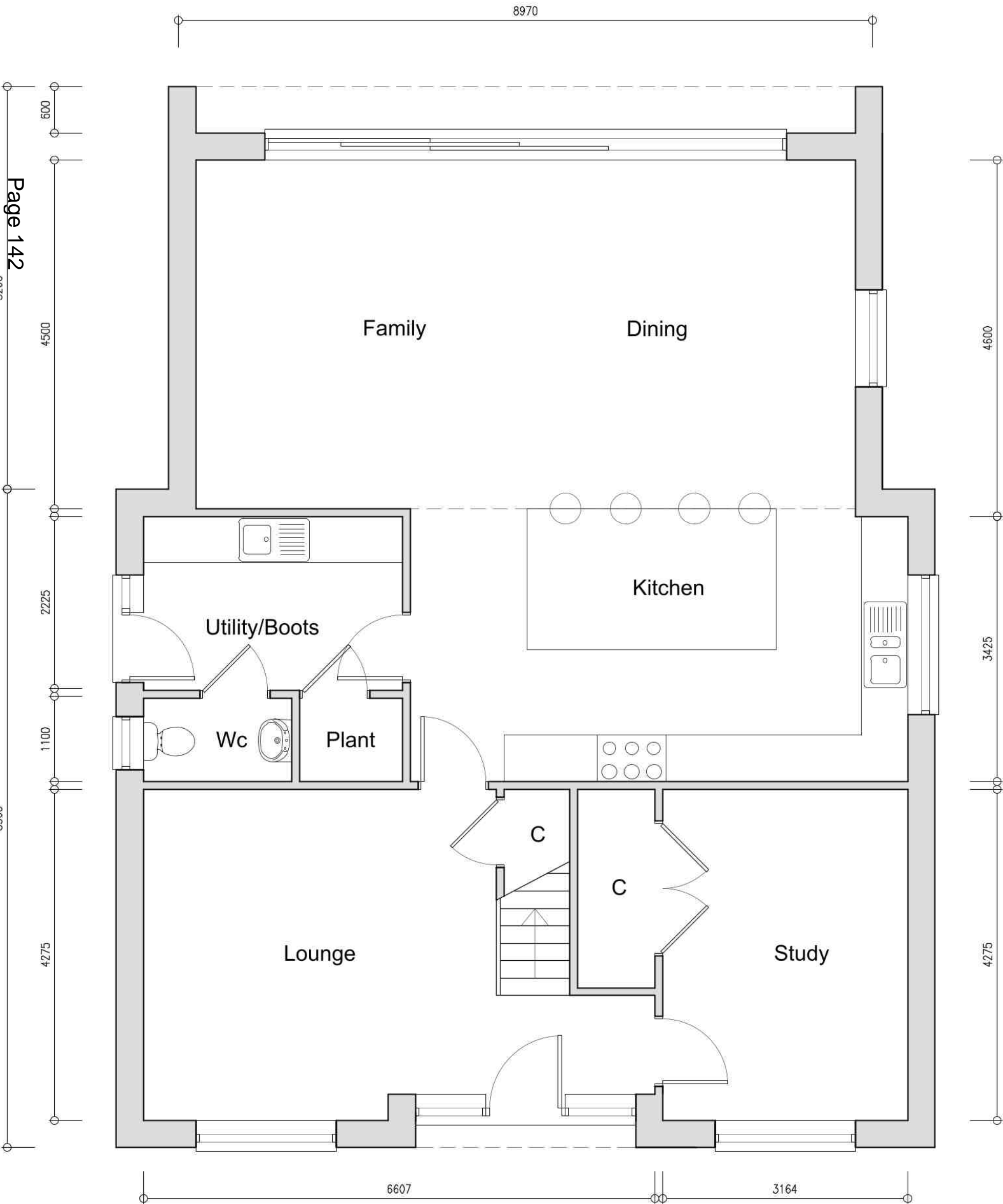


Proposed Front Elevation 1:100

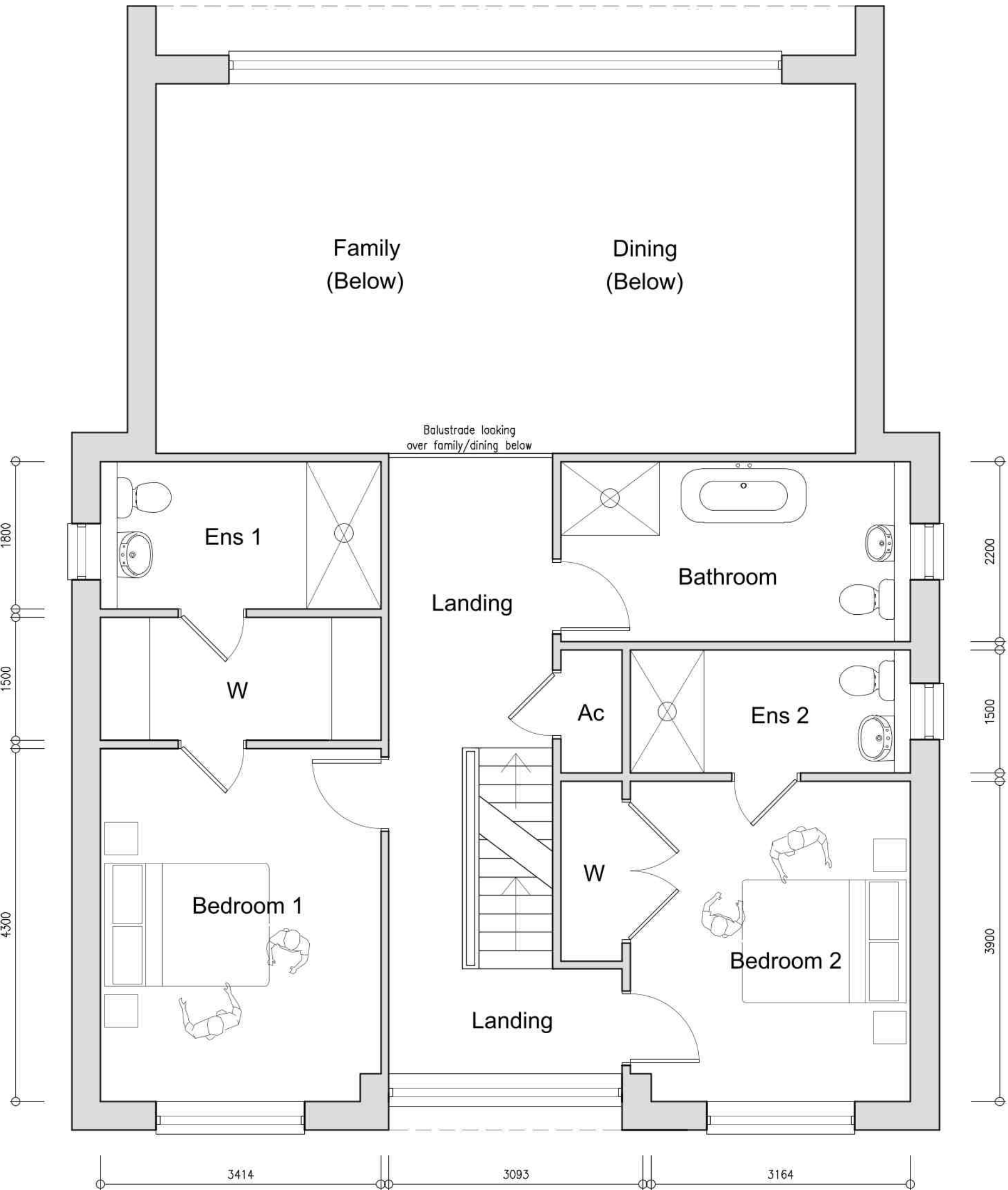
Proposed Side Elevation 1:100

Proposed Rear Elevation 1:100

Proposed Side Elevation 1:100



Proposed Ground Floor Plan 1:50



Proposed First Floor Plan 1:50



Proposed Second Floor Plan 1:50

A-

REVISIONS

PHA

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CLIENT
DANIELLA CALITRI

PROJECT
PROPOSED REPLACEMENT DWELLINGS

SITE
3-4 SHEEPWALK COTTAGES
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PE8 6SE

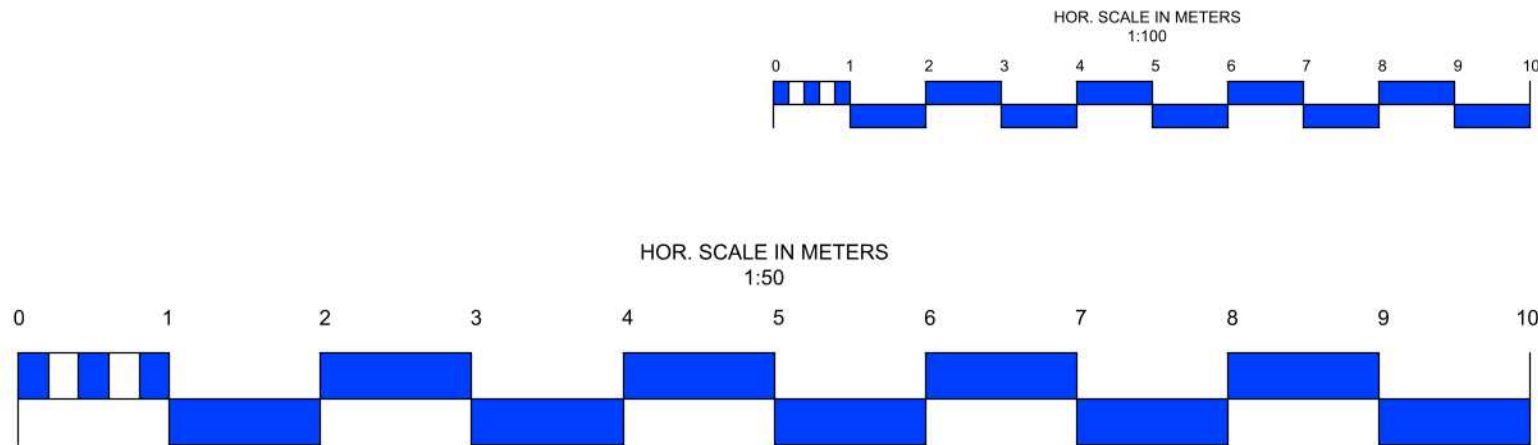
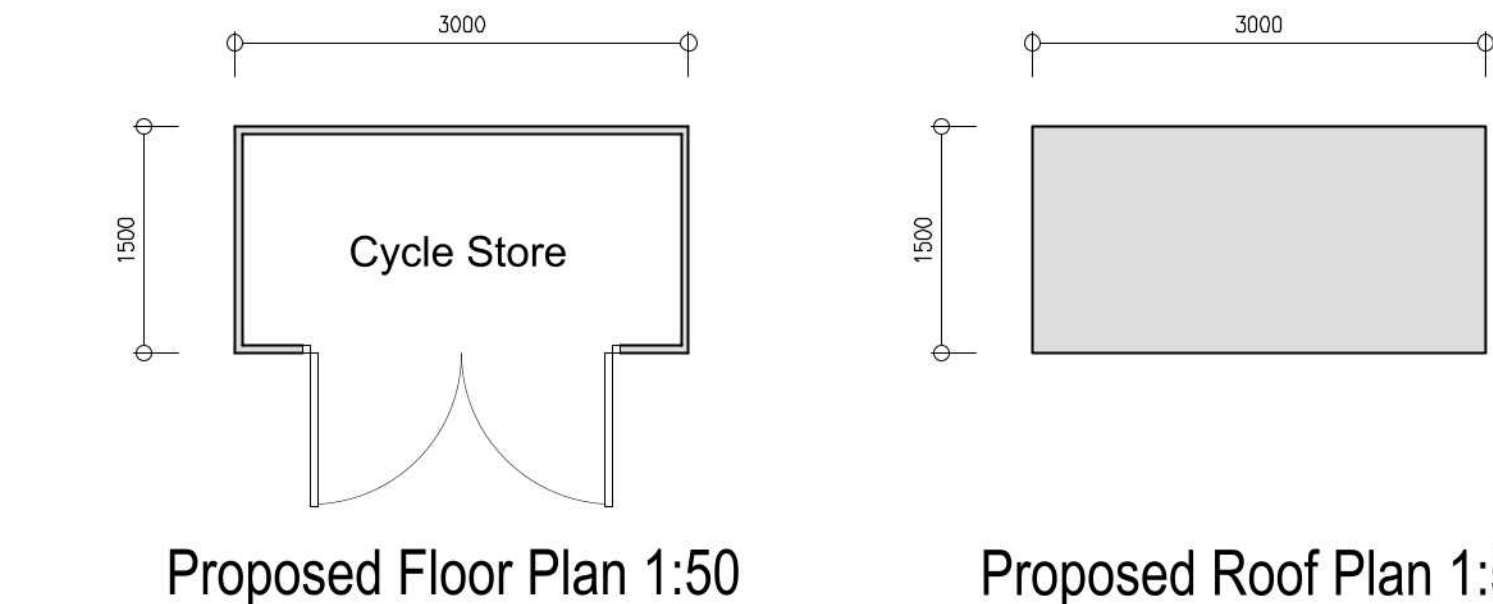
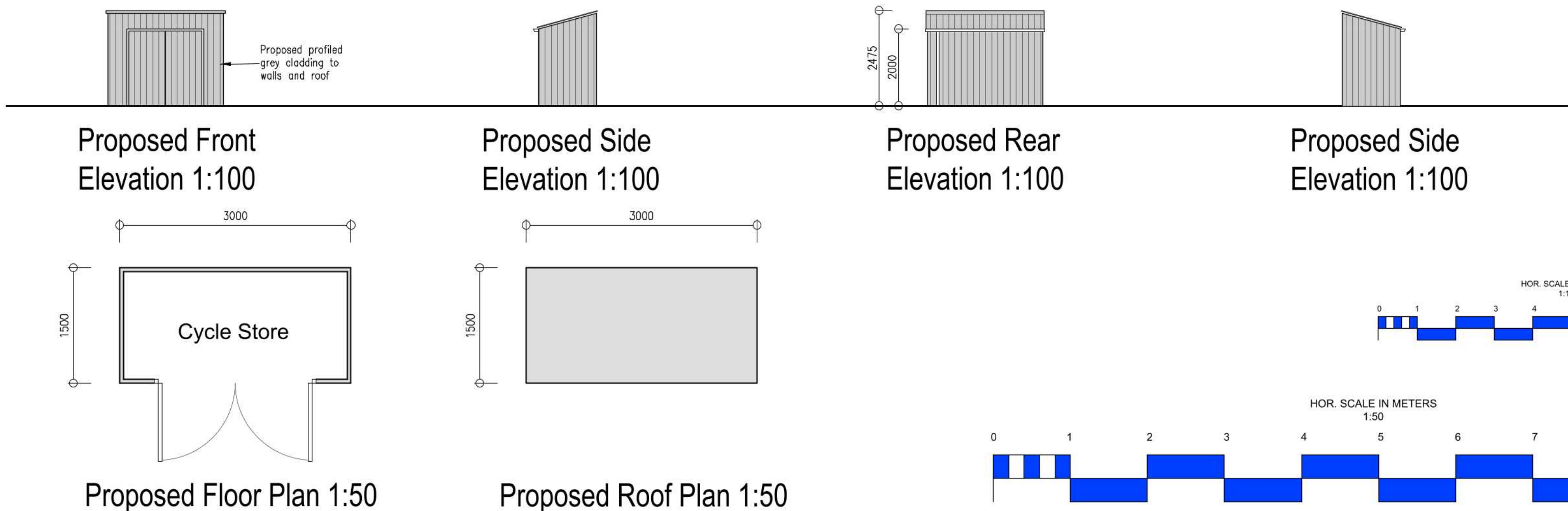
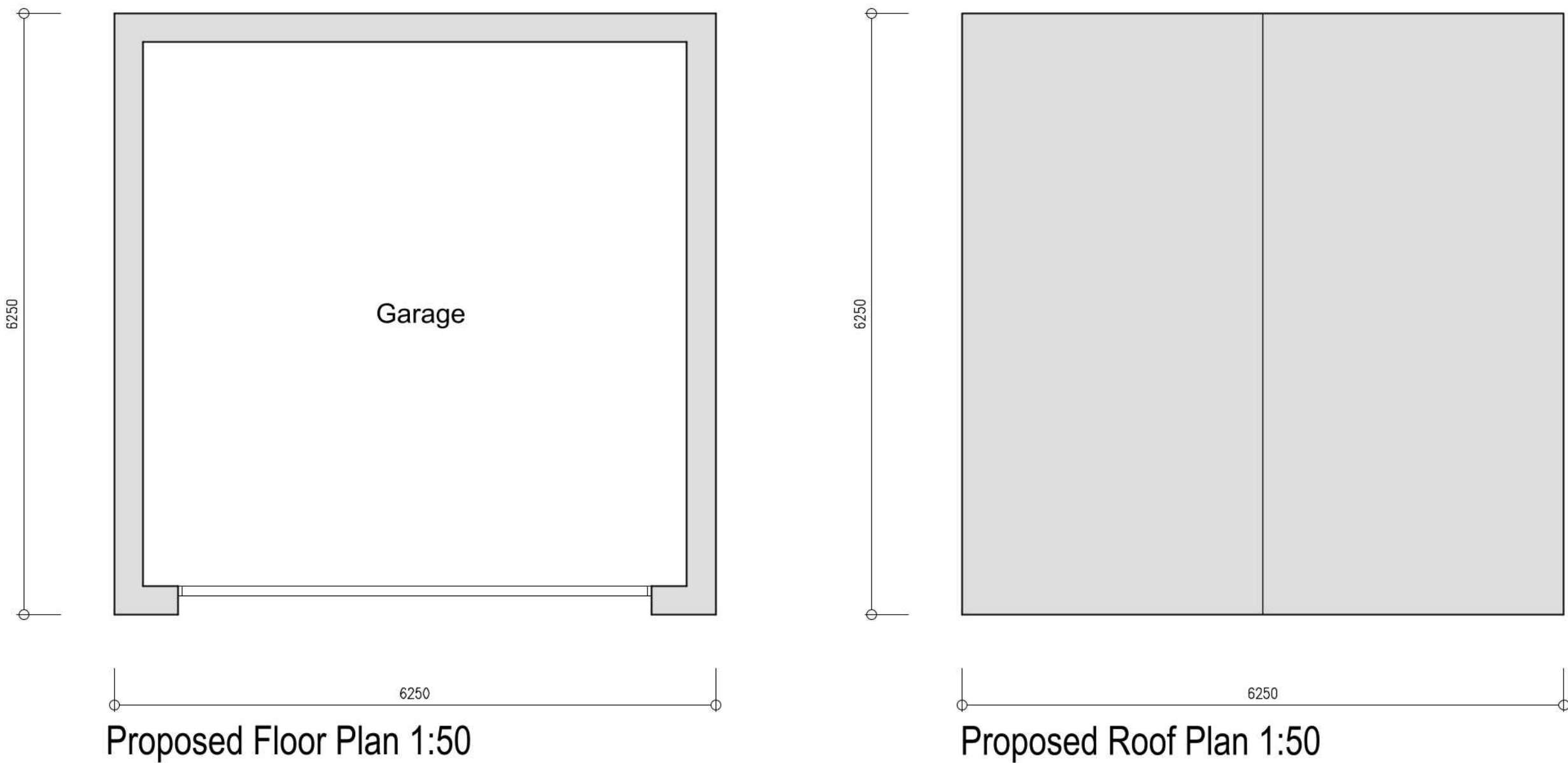
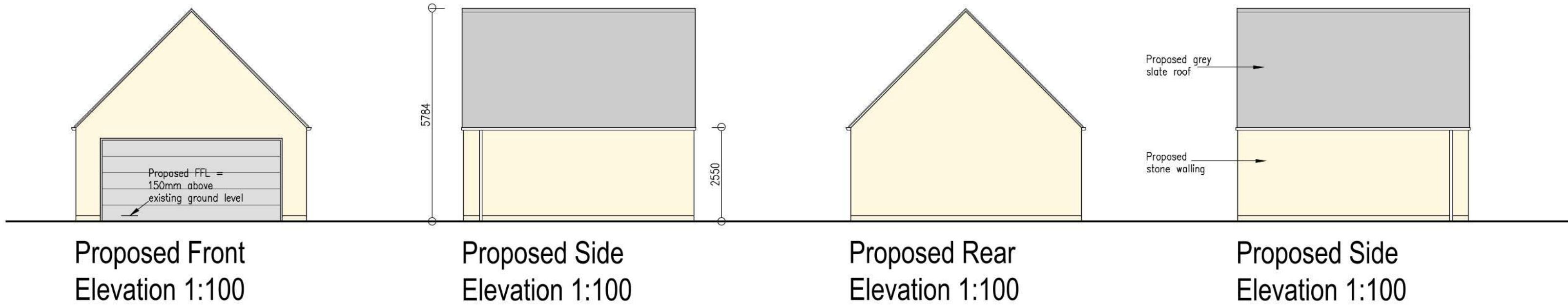
DRAWING
PLANNING DRAWING 1

JOB NO. 6807/01L	PAPER SIZE A1	DATE DEC 2024
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A -
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CLIENT
DANIELLA CALITRI

PROJECT
PROPOSED REPLACEMENT DWELLINGS

SITE
3-4 SHEEPWALK COTTAGES
OUNDL ROAD
ELTON
CAMBS
PE8 6SE

DRAWING
PLANNING DRAWING 3

JOB NO.	PAPER SIZE	DATE
6807/03G	A2	JULY 2023

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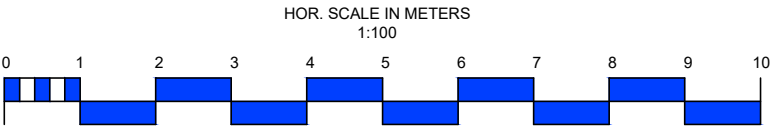
Existing Street Scene 1:100



Proposed Street Scene 1:100




Existing/Proposed Overlay Street Scene 1:100



A -

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CLIENT

DANIELLA CALITRI

PROJECT

PROPOSED REPLACEMENT DWELLINGS

SITE

3-4 SHEEPWALK COTTAGES
OUNDL ROAD
ELTON
CAMBS
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DRAWING

PLANNING DRAWING 5

JOB NO.

PAPER SIZE

DATE

6807/05

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DEVELOPMENT MANAGEMENT COMMITTEE 15th December 2025

Case No: 25/01600/FUL

Proposal: Change of use from day school to residential dwelling.
Demolition of ancillary buildings to the rear and
construction of new rear extensions with internal
alterations

Location: The Old Day School, High Street, Bluntisham

Applicant: Mr Simon Claridge

Grid Ref: 536769 274581

Date of Registration: 8th September 2025

Parish: Bluntisham

RECOMMENDATION - REFUSE

This application is referred to the Development Management Committee (DMC) as the Officer's recommendation of refusal is contrary to that of the Parish Council.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 This application seeks planning approval for the change of use from a former day school to a residential dwelling, along with the demolition of some ancillary outbuildings to the rear, and the construction of new rear extensions. It should be noted that the submission details some works which do not require planning permission, but which are the subject of the accompanying application for listed building consent (reference no. 25/01601/LBC). This report seeks to separate the planning and listed building consent considerations, but they should be read and understood in conjunction with one another. It should also be realised that a high level of less than substantial harm has been identified during consultation with Conservation Officers and this applies to aspects of works both requiring planning permission and listed building consent.
- 1.2 The building is Grade II Listed and located within the Bluntisham Conservation Area. There are other Listed buildings of varying grades in the vicinity of the application site. Bluntisham is defined as a Small Settlement under Policy LP9 of the Local Plan to 2036.
- 1.3 This application has been accompanied by the following:

- Design, Access and Heritage Statement;
- Preliminary Roost Assessment;
- Required location and existing and proposed plans;
- Marketing Information*

*Please note, this was obtained from earlier (but recent) applications for a similar development on this site by the same applicant. The information is considered to remain relevant and Officers have received confirmation from the agent that the applicant accepts this information being transferred to this application for consideration.

- 1.4 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (NPPF 2024) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2024 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

- 2.2 The NPPF 2024 sets out the Government's planning policies for (amongst other things):

- delivering a sufficient supply of homes;
- building a strong, competitive economy;
- achieving well-designed, beautiful and safe places;
- conserving and enhancing the natural, built and historic environment

- 2.3 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- LP1: Amount of Development
- LP2: Strategy for Development
- LP4: Contributing to Infrastructure Delivery
- LP5: Flood Risk
- LP6: Waste Water Management

- LP8: Key Service Centres
- LP11: Design Context
- LP12: Design Implementation
- LP14: Amenity
- LP15: Surface Water
- LP16: Sustainable Travel
- LP17: Parking Provision and Vehicle Movement
- LP22: Local Services and Community Facilities
- LP25: Housing Mix
- LP30: Biodiversity and Geodiversity
- LP31: Trees, Woodland, Hedges and Hedgerows
- LP34: Heritage Assets and their Settings
- LP37: Ground Contamination and Groundwater Pollution

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Strategic Flood Risk Assessment (2024)
- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Developer Contributions SPD 2011
- Huntingdonshire Landscape and Townscape SPD (2022)
- Cambridgeshire Flood and Water SPD 2017
- Annual Monitoring Review regarding housing land supply (2024)
- Bluntisham Conservation Area Character Statement (1999)

Local policies are viewable at <https://www.huntingdonshire.gov.uk>

3.3 The National Design Guide (2021):

- C1 - Understand and relate well to the site, its local and wider context
- C2 – Value local history, heritage and culture
- I1 - Respond to existing local character and identity
- I2 - Well-designed, high quality and attractive
- B2 - Appropriate building types and forms
- M3 - Well-considered parking, servicing and utilities infrastructure for all users
- N3 - Support rich and varied biodiversity
- H1 - Healthy, comfortable and safe internal and external environment
- H2 - Well-related to external amenity and public spaces
- H3 - Attention to detail: storage, waste, servicing and utilities.

For full details visit the government website

4. RELEVANT PLANNING HISTORY

- 4.1 24/01614/FUL - Change of use from day school to residential, demolition of ancillary buildings to the rear and construction of new rear extensions (Withdrawn)
- 4.2 24/01615/LBC - Proposed works to facilitate change of use from day school to residential including demolition of ancillary buildings to the rear and construction of new rear extensions. (Withdrawn)
- 4.3 25/01601/LBC - Listed Building Consent for the change of use from day school to residential dwelling. Demolition of ancillary buildings to the rear and construction of new rear extensions with internal alterations - Pending Consideration (associated with this application).

5. CONSULTATIONS

- 5.1 Bluntisham Parish Council recommends approval and supports bringing the building back into use whilst retaining the historic aspects.
- 5.2 HDC Conservation Team – Objection – High level of less than substantial harm to the building and less than substantial harm to the Conservation Area.
- 5.3 HDC Arboricultural Officer – Objection – insufficient detail to assess the impact of the development on trees in the neighbouring sites.
- 5.4 HDC Operations (Waste) Team – No representations received at the time of determination.
- 5.5 HDC Ecology Team – No representations received at the time of determination.
- 5.6 Historic England – No comments to make – we suggest you seek the advice of your Conservation and Archaeological specialists.
- 5.7 CCC Highways – No objections – LPA to consider if there will be any impacts in surrounding area due to not providing on site car parking provision.
- 5.8 CCC Historic Environment Team - No representations received at the time of determination.

6. REPRESENTATIONS

- 6.1 Three comments in support of the proposals have been received. These are available to view on HDC's Public Access Site but are broadly summarised below:

- Building has been used infrequently, has been subjected to vandalism and looks tired and run down.
- Building would make a great family home and the works would turn it into something wonderful.
- 100% supports renovation of the building.
- No highway safety concerns as a result of proposal.
- It will remain aesthetically in keeping with its surroundings and improvement to the streetscene.
- No other sustainable use – other attempts to use have failed.
- Can see no reason why this would not be permitted.

7. ASSESSMENT

7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.

7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 48 of the NPPF (2024). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".

7.3 In Huntingdonshire the Development Plan (relevant to this application) consists of:

- Huntingdonshire's Local Plan to 2036 (2019)
- Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)

7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

7.5 The main issues to consider in the determination of this application are:

- The Principle of Development
- Design and Visual Amenity

- Impact on Heritage Assets
- Residential Amenity
- Highway Safety and Parking Provision
- Flood Risk and Surface Water
- Biodiversity
- Impact on Trees
- Other Matters

The Principle of Development

Housing Land Supply

- 7.6 This report should be read with the knowledge that the NPPF paragraph 78 requires the Council to identify and update annually a supply of specific deliverable sites sufficient to provide a minimum of five years' worth of housing against our housing requirement. A substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements was introduced on 12th December 2024 in the revised NPPF and associated NPPG (the standard method).
- 7.7 As Huntingdonshire's Local Plan to 2036 is now over 5 years old it is necessary to demonstrate a five-year housing land supply (5YHLS) based on the housing requirement set using the standard method. NPPF paragraph 78 also requires provision of a buffer to ensure choice and competition in the market for land. As Huntingdonshire has successfully exceeded the requirements of the Housing Delivery Test a 5% buffer is required here. The 5-year housing land requirement including a 5% buffer is 5,907 homes. The current 5YHLS is 4,345 homes equivalent to 3.68 years' supply.
- 7.8 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'. While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.

Principle of development

- 7.9 Policy LP2 of the Huntingdonshire Local Plan to 2036 (the Local Plan) sets out the overarching development strategy for Huntingdonshire through the plan period. The main objectives are:

- Concentrate development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities;
- Direct substantial new development to two strategic expansion locations of sufficient scale to form successful, functioning new communities
- Provide opportunities for communities to achieve local development aspirations for housing, employment, commercial or community related schemes
- Support a thriving rural economy;
- Protect the character of existing settlements and recognise the intrinsic character and beauty of the surrounding countryside;
- Conserve and enhance the historic environment; and
- Provide complementary green infrastructure enhancement and provision to balance recreational and biodiversity needs and to support climate change adaptation.

7.10 Policy LP2 directs approximately a quarter of the objectively assessed need for housing (together with a limited amount of employment growth) to sites dispersed across the Key Service Centres and Small Settlements in order to support the vitality of these communities and provide flexibility and diversity in the housing supply. In addition, rural exception, small and windfall sites will be permitted on sites which are in conformity with other policies of the plan, thereby providing further flexibility in the housing supply.

7.11 Policy LP2 is within the Development Strategy chapter of Huntingdonshire's Local Plan to 2036 and is therefore considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications for residential development. Notwithstanding this, weight should still be given to Policy LP2 given that it directs development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities which is consistent with the NPPF.

7.12 The site is located within the built-up area of Bluntisham which is a Small Settlement as defined under Policy LP9 of the Local Plan to 2036. Therefore, the proposed new dwelling, located within the built-up area of Bluntisham is considered to be appropriately located in accordance with Policy LP9 of the Local Plan. LP9 supports development within the built-up area of a settlement where it is sustainable in relation to the:

- level of service and infrastructure provision within the settlement;
- opportunities for users of the proposed development to access everyday services and facilities by sustainable modes of travel including walking, cycling and public transport;

- effect on the character of the immediate locality and the settlement as a whole.

In this case, whilst Bluntisham does not offer the range of services and facilities available within some of the larger settlements, it is not devoid of services. There is a village hall, recreation ground, primary school, church, public house, shop, filling station and hot food takeaway. As such, it is not considered that the provision of one additional dwelling would place such a degree of strain on these facilities that it would render it unsustainable. In terms of access by sustainable travel modes, the site is conveniently located on the High Street with easy (and safe and convenient access) to many of the facilities detailed above. There is also a bus service to St Ives which provides connection with a wider range of services and connectivity to other settlements. Overall, the location is considered to be sustainable for the quantum of development under consideration. In terms of the impact on the character of the area, this is discussed in further detail in the proceeding sections of this report and there is considered to be some harm to the Conservation Area and therefore to the character of the area. The scheme is therefore not fully compliant with Policy LP9 of the Local Plan to 2036 (having regard to part c).

- 7.13 Further to the above, the overriding policy consideration relates to Policy LP22 of the Local Plan to 2036 (Local Services and Community Facilities) and assesses if the resultant loss of the facility by virtue of the conversion would result in harm to the settlement.
- 7.14 In this case, the applicant has submitted a statement of compliance with Policy LP22 as well as marketing details for the building. This details that following cessation of use as a school in the late 1960s it became used for various community uses which ceased around 2020/2021. The Statement details that the building was put forward as an asset of community value by the Parish Council in 2022 but this was never realised. It is unclear why the building was not registered as an asset by the Council, but Officers can confirm that it does not appear on the list available on the Huntingdonshire District Council website which is dated 20th of October 2025.
- 7.15 Marketing detail provided by Prestige Fine and Individual Homes sets out the approach to marketing the building (dates and advertising etc) as well as some of the challenges of the marketing process such as the property had no working heating system, was un-mortgageable, limitations on its use etc.
- 7.16 A summary of the level of marketing (before being sold to the current owner) detailed that the building had been marketed for 3 months and 19 days and had significantly reduced in price between the original asking and eventual sold price. Whilst paragraph 6.49 of LP22 refers to a general marketing period of 12

months at a value reflecting its permitted use, part e of the Policy (as set out below) details that either there is insufficient community support for the continuation of a facility or reasonable steps have been taken to effectively market the property for its current use without success. One or the other needs to apply, not both.

- 7.17 As set out in the Statement of Compliance submitted with the application only parts d & e are relevant to the consideration and the Policy requires one or the other (not both) to apply. This section of the Policy reads:

Where permitted development rights do not apply a proposal which involves the loss of a local service or community facility will only be supported where:

d. an equivalent service or community facility will be provided in a location with an equal or better level of accessibility for the community it is intended to serve; or

e. it demonstrates that there is no reasonable prospect of that service or facility being retained or restored because either:

i. there is insufficient community support for its continuation; or

ii. reasonable steps have been taken to effectively market the property for its current use without success.

- 7.18 The supporting paragraphs go on to read that the policy is intended to allow for the loss of an existing service or facility where this is to be provided in an alternative location giving equal or better accessibility to the community than the existing facility and that assessing the level of community support for a local service or facility is a matter of judgement which could be informed by information such as evidence of recent usage as well as the number and nature of comments made on an application by members of the local community. In this case, as detailed in the preceding sections of this report, the building has been a school, a nursery and pre-school and latterly owned by a charity and gifted to the community for various uses which ceased in 2020/21 due to the deterioration in condition of the building.

- 7.19 An important factor to note in the assessment of this application is the alternative provision which is present in the village. For example, on the opposite side of the road is the Baptist Church and associated hall. The village hall (a modern building available to book for community uses) is approx. 0.5km from the site with the St Helen's Primary School approx. 0.6km. Whilst the Statement of Compliance identifies a local objection to the conversion, this document was submitted in support of the earlier (withdrawn) application. Crucially, at the time of preparing this report there are no objections to the scheme as presented and the Parish Council are also supportive of the change of use. It should

be noted that as set out in the proceeding sections of this report there are no fundamental objections to the proposed change of use, it is the associated works and the scale and design of the proposed extension which is considered to be unacceptably harmful.

- 7.20 Overall, Officers are satisfied that there is no significant public support for the retention of the building for community uses and that the marketing process was unsuccessful. This, given the alternative provision now in the village is satisfactory and the scheme broadly accords with Policy LP22 part d and part e (i). Referring back to this compliance as well as the broad accordance with Policy LP9 means that the principle of a residential dwelling via the conversion of the building is considered to be acceptable, subject to compliance with all other materials planning considerations (including impact on heritage assets) and conditions.

Impact on heritage assets

- 7.21 The Old Day School is a Grade II Listed and it is located within the Bluntisham Conservation Area. The building is referenced within the Bluntisham Conservation Area Character Statement (1999). Which states 'it is a well preserved and early example of a small rural school and presents as a simple, well-proportioned building in a pared down Tudor style constructed of local gault brick with stone detailing. Its earliest plan form remains legible and historic features, such as the clock, panelled doors, and the tablet displaying the coat of arms of the founder, enhance its architectural and historic authenticity'.

- 7.22 Section 72 of the Planning (LBCA) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

Section 66 of the Planning (LBCA) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Para. 212 of the NPPF sets out that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'.

Para. 213 states that 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'

Section 16(2) of the Planning (LBCA) Act 1990 (as amended) requires special regard to be had to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

- 7.23 The High Street comprises mainly residential properties, with dwellings of varying age, scale and designs along its length. The northern end of the High Street (to the east of the street) is more modern with historic development more prevalent to the west of the street and to the southern end. There are a number of Listed buildings (of varying grades) along the High Street (on both sides) at various points. The Old Day School was constructed in 1842 and the railings and walls to the front were listed along with the building in February 2024. The detached rear toilet block building and rear wall, were omitted from this listing. Previous submitted applications under reference numbers 24/01614FUL and 24/01615/LBC, sought planning permission for a similar proposal to the current applications however they were withdrawn following engagement with Officers due to heritage concerns. Whilst the current applications must be assessed upon their own merits, for the reasons set out below they have not overcome the heritage concerns of the previous applications and they are considered to be harmful to both the significance of the listed building and the Conservation Area. The Old Day School is a detached, predominantly brick and slate structure with a mixture of timber and ironwork windows and a number of pitched roof extensions/ancillary structures to the rear. The remaining site is predominantly hard surfacing with brick walls forming the rear and side boundaries. The front boundary is a low-level wall with iron railings above. There is a Grade II* Listed building to the immediate north and south-east of the site, with additional Grade II Listed buildings to both the east, and south.
- 7.24 This application proposes the change of use of the building to a residential dwelling along with the demolition of some ancillary buildings to the rear and the construction of new rear extensions. Internal alterations do not require planning permission but do require listed building consent and so will be a subject of the separate 25/01601/LBC application. The application is accompanied by a Heritage, Planning, Design and Access Statement and HDC's Conservation Team and Historic England have been consulted.
- 7.25 Historic England did not wish to comment on the scheme but advised that this should not be read as 'no objection' and recommended that the views of specialist conservation advisers

(Conservation Team) be sought. Conservation Officers object to the scheme with overriding concerns summarised as:

- The 1931 cloakroom and later kitchen extension illustrate the changes in educational standard during the 20th Century. Thus, these form part of the significance of the building and their demolition can only be supported to provide an appropriate extension to the building which will secure its long-term future use. The extension (as set out below) is considered to be inappropriate.
- Removing the lean-to cloakroom (C.1896) the girls entrance and slate roof results in an unacceptable loss of early historic fabric and an erosion of the historic and social significance of the building.
- The proposed rear extension (proposed living area) is substantial and extends across the rear of the building, a glazed link passage connects this with the bedroom and bathroom wing. These are relatively large, modern, glazed, flat roof structures which appear overly dominant and which would swamp the original building. These do not integrate well with the character of the original building. Whilst the theory of the glazing is noted (in order to allow views through the building to reveal the original building) this, in practice is unlikely to be achieved due to internal furnishings, paraphernalia, window treatments etc which the LPA would have no control of.
- Further to the concerns with regard to the relationship, scale and massing of the extensions these works would also result in the requirement for existing windows to be internalised resulting in the loss of historic glazing as well as the loss of eaves detailing where the flat roof would need to cut into the slate roof.
- The Statement details that works to the boundary wall will be required but no specific details such as detailed drawings, engineer assessment or analysis of the railings or their proposed repair, storage and protection have been provided.

7.26 Overall, whilst Conservation Officers recognise that the long-term future of the building needs to be secured and would be supportive of bringing the building back into use, this can only be achieved in conjunction with an appropriate scheme being presented. In this case they consider that whilst a residential conversion may be a possibility for the building re-use, in this instance the scale, massing and modern design of the proposed extensions as well as the other proposed works, as set out above (as well as required internal works discussed within the separate listed building consent application) are inappropriate

and harmful to the heritage significance of the building. The proposed scheme would result in a significant increase in the footprint of the building and is incompatible with its character, proportions and history. Conservation Officers conclude that the impact on the listed building would result in a high level of less than substantial harm and that the impact on the Conservation area would be less than substantial harm.

- 7.27 The NPPF (2024) at Para. 215 details that “where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.” In this case, this would result in the provision of a single private dwelling. Therefore any public benefits would be limited (in comparison to restorative works to return the building to public use for example). As such, the level of harm in this instance is not considered to be outweighed, as there are no public benefits.
- 7.28 Based upon the extent of the proposals set out in the preceding sections of this report and the advice of specialists, Officers conclude that the works would be contrary to Policies LP2 and LP34 of the Huntingdonshire Local Plan to 2036, the Planning (Listed Buildings and Conservation Areas) Act (1990) and the provisions of the NPPF (2024).
- 7.29 It should be noted that Cambridgeshire County Council’s Historic Environment Team were consulted and, whilst they made no comments it is prudent to mention that as a previously developed former school site, with the majority of the site laid to hard standing it is considered unlikely to contain important archaeological remains. However, should anything be uncovered during site works the developer has an obligation to stop and seek professional archaeological support, to ensure no intentional damage to any important remains.

Design and visual amenity

- 7.30 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the area's character and identity and successfully integrates with adjoining buildings and landscape. This is also reflected in Section 12 of the National Planning Policy Framework (2024).

- 7.31 The character of the area and the application building as well as the arrangement and considered impact of the extensions are set out in the preceding sections of this report. The works to the front and side elevations are limited to mainly repairs/renovations and will have a limited impact on the appearance of the area. These works are given greater consideration in the listed building consent application. It is clear that the main alterations are to the rear due to the proposed addition of the large, glazed flat roof extensions. These are not considered to respond positively to context and in fact, disrespect the simple form and scale of the existing building. Whilst in some instances a contemporary addition to an historic building can be successfully achieved, in this case it appears dominant and irreversibly alters the way that the building is read in its historic setting. It fails to contribute to the character and identity of the area, does not successfully integrate with the building or landscape, and, whilst it cannot be considered a key view, does result in the introduction of incongruous development in a historic setting.
- 7.32 Overall, the development is considered to be contrary to Policies LP11 and LP12 (parts a, b and c) of the Huntingdonshire Local Plan to 2036, parts C1 I1 and I2 of the National Design Guide (2021) and Paragraph 135 (parts b and c) of the NPPF (2024).

Residential Amenity

- 7.33 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.34 In terms of any overbearing, overshadowing or loss of light impacts, it is considered that by virtue of the limited height of the proposed additions in comparison with the existing relationship between the rear projections, ancillary buildings and the boundaries along with the retained separation that there will be no significant impact on adjacent neighbours residential amenity.
- 7.35 In terms of overlooking and loss of privacy there are no additional windows proposed in the main section of the building. The proposed glazing in the extensions is all at ground floor level and having regard to the boundary treatments in place would not result in an increased degree of overlooking. The proposed mezzanine level comprising of an office/seating area, within the existing building, could provide elevated views towards the side (south) elevation of No.18 High Street; there is a separation distance of approx. 1.2m to the boundary and 30m building to building. No.18 also benefits from a large curtilage and so the impact on any heavily used defensible space is minimal in practice. Furthermore, the sectional details show that the window will be in the lower part of the room (at floor level). Therefore, the impact in practice would be low. Whilst Policy LP14 requires consideration of the impact on

future users of a development, it should be noted that in this case the applicant is the owner of the adjacent site (denoted by the land within the blue line on the submitted location plan) and arguably, the most notable impact would be on them as opposed to any occupier of the development under consideration.

- 7.36 Officers note that there is something of an unusual relationship with No.16 High Street to the south in that some windows of this dwelling look directly onto the curtilage of site. Of the windows described below those to the rear (looking to the garden) are of most concern. The proposed site plan shows that these will face a grassed area. A site visit confirms that there are windows in the front (east) at first floor, side (north) elevation at ground and first floor, and two windows in the rear (west) elevation at ground floor and first floor. Given the age and design of the dwelling, the first-floor windows are not set in an especially elevated position. It is unclear what rooms these windows serve. Whilst support for such a relationship would not generally be offered, what is important to note in this case is that this is an existing situation. These windows would have always looked out onto the curtilage of the property and its various uses. The section of land in question is also not directly to the rear of either building. As such, it would not have a significant impact on land which might be well used as immediate private/defensible space to the dwelling such as a patio or terrace for example. On balance, it is in this instance considered to be acceptable.
- 7.37 Having regard to other matters, the provisions on site are considered to provide a high level of residential amenity. There is an adequate degree of defensible space, thought has been given to bin and cycle storage and, given the sustainable location with options for recreation and leisure within walking distance a high level of amenity would be enjoyed. Internal layout ensures compliance with technical housing standards (in terms of space provided) and there are windows providing natural light to all habitable rooms. Given the previous uses of the site there are also no concerns regarding land contamination nor should the occupant experience unacceptable levels of noise or odour given the largely residential character of the surroundings.
- 7.38 Overall, taking the above assessment into consideration, the development proposed is considered to be acceptable with regard to its impacts and approach to residential amenity of the proposed and surrounding dwellings and therefore accords with Policies LP14 and LP37 of the Huntingdonshire Local Plan to 2036.

Highway Safety, access and Parking Provision

- 7.39 Policies LP16 and LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service

vehicles and incorporates adequate parking for vehicles and cycles.

- 7.40 The layout and heritage constraints of this site limit the ability to provide off-street parking for motor vehicles and similar to the existing situation none is intended to be provided as part of this scheme. Cambridgeshire County Council as the Local Highway Authority have been consulted and raise no objection in terms of any proposed highway safety dangers. They do suggest that the Local Planning Authority (LPA) should consider if there would be any negative residential amenity impacts arising from the lack of on-site parking in the vicinity of the site and Officers have considered this carefully. The High Street appears to have no restrictions in place which limit on-street parking. Some of the surrounding dwellings benefit from off-street parking but, given the historic character this is not the case for every property. Whilst the provision of a single dwelling would likely result in the need for on-street parking, it is not considered that the degree of intensification in this surrounding context would render the development unacceptable in this instance. Furthermore, it should be considered that the historic uses of the site would likely have generated the need for parking where visitor numbers would undoubtedly have been greater (users attending a class or function for example) than that proposed.
- 7.41 Further to the above, the sustainability of the location should once again be regarded. Cycle storage is shown on the site plan along with specification of the provision. Policy requirements dictate that one cycle space per bedroom should be provided with the Huntingdonshire Design Guide recommending secure covered storage and that proposed is considered sufficient. Should Members choose to grant planning permission it would be considered prudent to secure the provision cycle parking by way of a planning condition.
- 7.42 Overall, Officers are satisfied that the development would not create any unacceptable residential amenity issues (in terms of increased on-street car parking), would not create any significant highway safety issues and would be acceptable with regard to its approach to sustainable travel in accordance with Policies LP14, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Flood Risk and Surface Water

- 7.43 The site is at the lowest risk of flooding according to the Environment Agency Flood Map for Planning (Flood Zone 1) and has no risk of flooding from other sources. Development of this nature is therefore acceptable in Flood Zone 1 and does not require the application of the Sequential or Exception Tests as per the NPPF (2024). Given the lack of surface water flood risk and the minor level of proposed built development (when compared

with the existing situation) it is not considered that there would be significant surface water run off impacts.

- 7.44 Further to the above consideration, Officers are satisfied that full details of the proposed surface and foul water drainage could be secured as part of building regulations and other relevant legislative requirements in this instance.
- 7.45 As such, the proposal is considered to be acceptable with regard to its impact on flood risk, surface water and wastewater management in accordance with Policies LP5, LP6 and LP15 of Huntingdonshire's Local Plan to 2036.

Biodiversity

- 7.46 Policy LP30 of the Local Plan requires a development to ensure no net loss of biodiversity and achieve a net gain where possible. As well as this (and separate from the requirements of LP30) qualifying new development is subject to Biodiversity Net Gain legislation pursuant to the Environment Act 2021. This means that a 10% statutory Biodiversity Net Gain (BNG) is required, following the hierarchy of onsite provision; mixture of on-site and off-site provision; and the last resort of statutory biodiversity credits unless it can be demonstrated that the development would be exempt.
- 7.47 In considering the above it is noted that the application form details that the scheme would be exempt from BNG as it falls within the 'de-minimis' category, affecting less than 25m² of habitat. This is confirmed within the submitted Preliminary Roost Assessment detailed below. Having visited the site, Officers are satisfied with this suggestion. There is already built development to the rear of the site which would be removed to facilitate the proposed new extensions. The area surrounding the building is currently laid to hard surface and so its ecological value is neutral. As such, Officers are satisfied that the 10% BNG is not required in this case.
- 7.48 In considering other Ecological matters, as detailed above, the application is accompanied by a Preliminary Roost Assessment prepared by Sound Ecology, dated July 2025 and received on the 21st of August 2025. This concludes that no notable or protected species would be impacted by the development and that no further surveys are required. It goes on to make some recommendations for precautionary working methods and enhancements which could be secured by condition, should Members choose to grant planning permission.
- 7.49 Overall, having regard to the above, the development is considered to be acceptable with regard to its approach to

biodiversity and subject to a condition, would accord with Policy LP30 of the Huntingdonshire Local Plan to 2036.

Impact on Trees

- 7.50 As detailed in the preceding sections of this report, the site lies within the Bluntisham Conservation Area. There are no specific Tree Preservation Orders in force on this or adjacent sites, however any trees are afforded protection by virtue of their location within the Conservation Area.
- 7.51 Officers note that there are no trees within the site itself, and, as identified in the submitted Design, Access and Heritage Statement any trees are located outside the sites curtilage, separated by the existing boundary walls in adjacent gardens. Of most interest are the trees located to the north of the site, and whilst the Arboricultural Officer has highlighted those to the south, these are located a significant distance from the proposed built development. Aerial photography shows two trees located to the north, one of which is positioned central on the common boundary and the other one set further west.
- 7.52 HDC's Arboricultural Officer has been consulted and advises that at present there is insufficient information to allow for the impact on trees to be fully assessed. As a minimum, the application should be accompanied by an Arboricultural Impact Assessment as he observes that some of the extensions are to be located in close to the common boundary. If this means that the root protection areas (RPA's) fall within this then an Arboricultural Method Statement would be required to detail how surface removal and works would take place. If the proposed extensions were to fall entirely within the RPA (unclear at this stage) then it would render the extent of development unacceptable. As such, in this instance this matter cannot be considered and controlled by way of a planning condition and so is one of the recommended refusal reasons.
- 7.53 Overall, given the lack of detail provided with the application alongside the comments from specialists, Officers cannot be satisfied that the development can proceed with no impact on the trees within the Conservation Area. There is conflict with Policy LP31 of the Huntingdonshire Local Plan to 2036 in this respect.

Accessible and Adaptable Dwellings

- 7.54 Policy LP25 of the Huntingdonshire's Local Plan to 2036 states that proposal for new housing will be supported where they meet the optional Building regulation requirement M4(2) 'accessible and adaptable dwellings' unless it can be demonstrated that site specific factors make this impractical or unviable.

- 7.55 In this case, given the constraints presented in the conversion of an existing building (not least one of heritage value) it is considered that it would be challenging to achieve this compliance. (For example, the lack of parking and level access are factors). Therefore, Officers consider that should Members choose to grant planning permission that it would be unreasonable to impose this condition.

Water Efficiency

- 7.56 Policy LP12 (j) of the Local Plan to 2036 states that new dwellings must comply with the optional Building Regulation requirement for water efficiency set out in Approved Document G of the Building Regulations. Should Members choose to grant planning permission a condition is recommended to be attached to ensure compliance with the above, in accordance with Policy LP12 (j) of Huntingdonshire's Local Plan to 2036.

Development Obligations

Bins

- 7.57 Part H of the Developer Contributions SPD (2011) requires a payment towards refuse bins for new residential development. A Unilateral Undertaking Form in respect of wheeled bins has been received by the Local Planning Authority. The proposal therefore accords with Policy LP4 of Huntingdonshire's Local Plan to 2036.

Community Infrastructure Levy (CIL)

- 7.58 Community Infrastructure Levy Forms have been provided and will be dealt with by the Council's Implementation Team. The development would accord with Policy LP4 of Huntingdonshire's Local Plan to 2036.

Conclusion

- 7.59 The presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'. While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.
- 7.60 Planning law requires that applications for planning permission be determined in accordance with the development plan unless material considerations indicate otherwise.

- 7.61 A revised NPPF was published in December 2024, introducing a substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements. This has resulted in the Council being unable to demonstrate a five-year housing land supply (5YHLS). While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.
- 7.62 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'.
- 7.63 NPPF para 11 states:

'Plans and decisions should apply a presumption in favour of sustainable development.'

For decision-taking this means:

d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:

i. the application of policies in this Framework that protect areas or assets of particular importance (7) provides a strong reason for refusing the development proposed; or*

ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

7 Foot note 7 states: The policies referred to are those in this Framework (rather than those in development plans) relating to: habitats sites (and those sites listed in paragraph 194) and/or designated as Sites of Special Scientific Interest; land designated as Green Belt, Local Green Space, a National Landscape, a National Park (or within the Broads Authority) or defined as Heritage Coast; irreplaceable habitats; designated heritage assets (and other heritage assets of archaeological interest referred to in footnote 75); and areas at risk of flooding or coastal change.'*

- 7.64 As outlined in the report, there is a strong reason for refusal in relation to designated heritage assets. Therefore, there is a reason to not move forward to test d (ii) as per above and thus the 'titled balance' is disengaged.
- 7.65 Paragraph 215 of the National Planning Policy Framework states that where a proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.
- 7.66 Given the proposal seeks to provide only one private residential dwelling, whilst there would be some public benefits of bringing the building back into use the Officers do not consider that this minor benefit would outweigh the identified harm in this instance.

8. RECOMMENDATION - REFUSE for the following reasons

- 8.1 The proposed extensions by virtue of their siting, scale, mass, design and material finish would result in the addition of an incongruous form of development which would cause a high level of less than substantial harm to the Grade II Listed building and less than substantial harm to surrounding the Bluntisham Conservation Area. In addition, it would fail to respond positively to its surroundings, contribute to the character and identity of the area, or successfully integrate with the host building. It is contrary to Policies LP2, LP11, LP12 (parts a, b and c) and LP34 of the Huntingdonshire Local Plan to 2036, the Planning (Listed Buildings and Conservation Areas Act) 1990, the NPPF (2024) and parts C1, C2, I1 and I2 of the National Design Guide (2021).
- 8.2 Insufficient detail has been provided to allow for an assessment of the impact on the trees to the northern boundary. In the absence of this information it cannot be confirmed that the proposed works could proceed without unacceptable harm to the adjacent protected trees, particularly as future works would likely occur within their root protection areas. The development therefore conflicts with Policy LP31 of the Huntingdonshire Local Plan to 2036.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388640 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquires about this report to **Kevin Simpson – Senior Development Management Officer -**
kevin.simpson@huntingdonshire.gov.uk

Pathfinder House, St Mary's Street
Huntingdon. PE29 3TN
Developmentcontrol@huntingdonshire.gov.uk

01480 388424
www.huntingdonshire.gov.uk

Head of Planning Services
Pathfinder House
St. Mary's Street
Huntingdon
Cambridgeshire PE 29 3TN

Application Number: 25/01600/FUL Case Officer Kevin Simpson

Proposal: Change of use from day school to residential dwelling. Demolition of ancillary buildings to the rear and construction of new rear extensions with internal alterations

Location: The Old Day School High Street Bluntisham

Observations of Bluntisham Town/Parish Council.

Please ✓ box as appropriate

☒

Recommend **approval** because (please give relevant planning reasons in space below)

The PC are in support of bringing this building back into use while retaining the historic aspects of the dwelling

☐

Recommend **refusal** because... (please give relevant planning reasons in space below)

☐

No observations either in favour or against the proposal

██████████ Clerk to Bluntisham Town/Parish Council. (For GDPR purposes please do not sign)

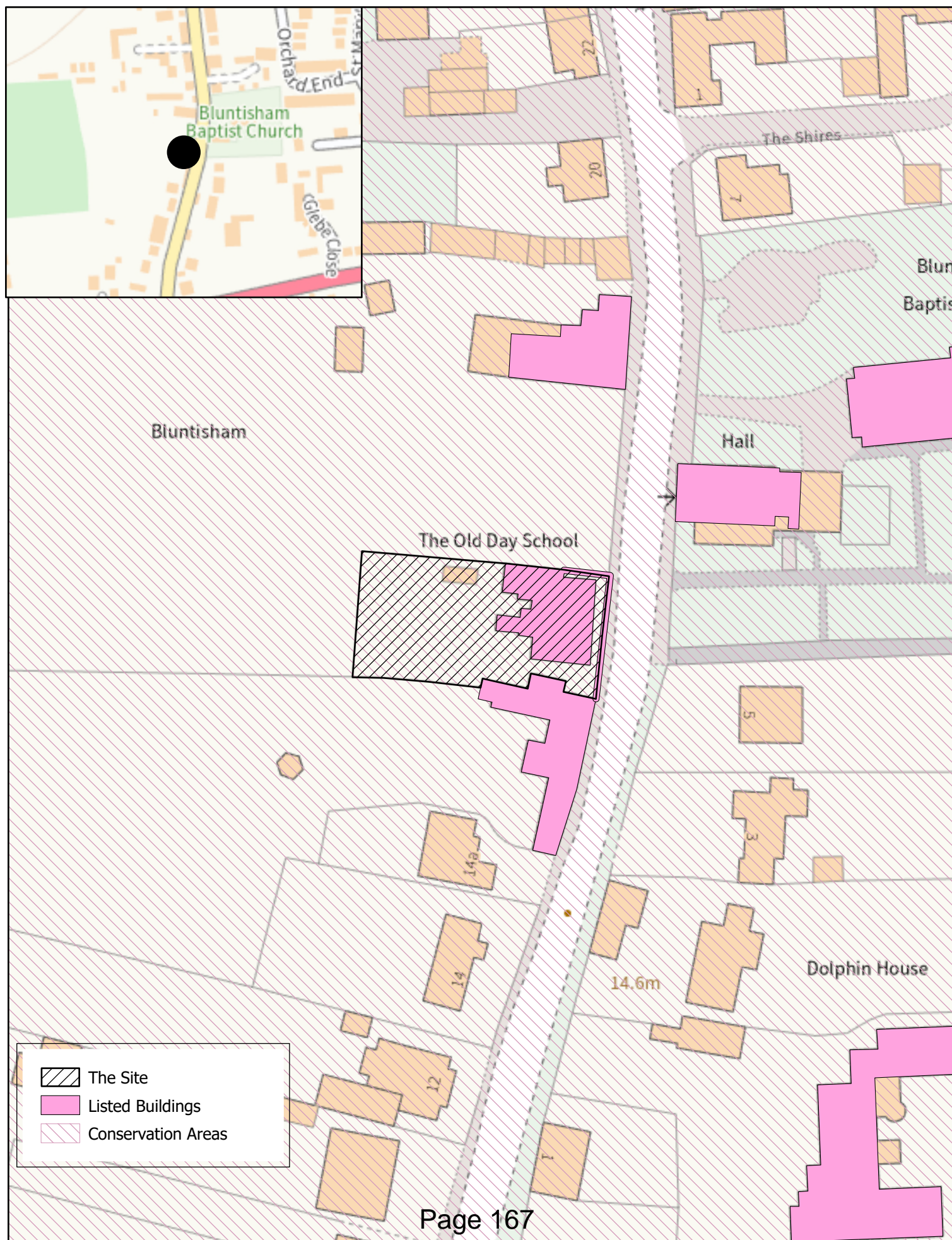
Date : 6-10-25

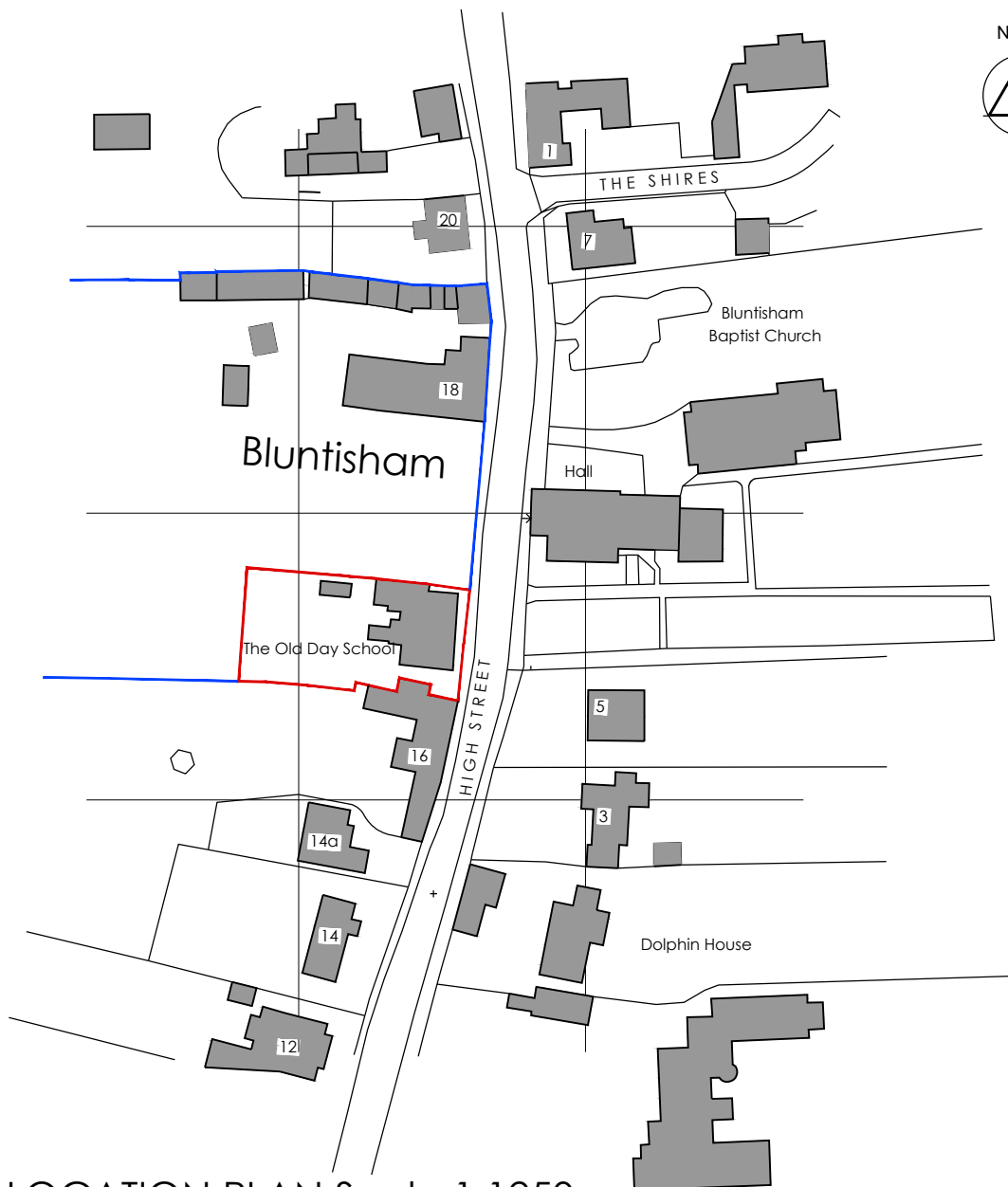
Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

Please send response to email address below:-

Development.control@huntingdonshire.gov.uk

(Development Management)



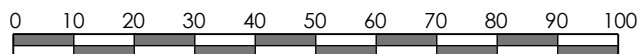


LOCATION PLAN Scale 1:1250

Site Area = 0.073ha.

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Scale 1:1250

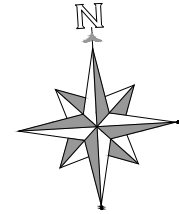


REV	DATE	BY	REVISION NOTES
A	20/08/25	NFM	Blue line added around client adjoining land.

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<p>PROJECT PROPOSED CHANGE OF USE AND EXTENSION TO "THE OLD DAY SCHOOL" HIGH STREET, BLUNTISHAM, CAMBRIDGESHIRE. PW28 3LD</p>
<p>CLIENT MR AND MRS S CLARIDGE</p>
<p>DRAWING TITLE PROPOSED LOCATION PLAN</p>

<p>DRAWN BY NFM</p>	<p>SCALE 1:1250 @ A4</p>
<p>DATE 26/06/25</p>	<p>DWG. No. 25-20-206</p>
	<p>REV. A</p>



REV	DATE	BY	REVISION NOTES
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<p>PROJECT PROPOSED CHANGE OF USE AND EXTENSION TO "THE OLD DAY SCHOOL" HIGH STREET, BLUNTISHAM, CAMBRIDGESHIRE. PE28 3LD</p>			
<p>CLIENT MR AND MRS S CLARIDGE</p>			
<p>DRAWING TITLE EXISTING BLOCK PLAN</p>			
DRAWN BY NFM		SCALE 1:200 @ A3 0.0 2.0 4.0 6.0 8.0 10	
DATE 20/08/25		DWG. No. 25-20-208 REV.	

LEGEND

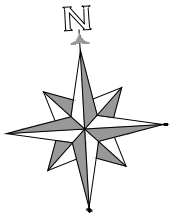
-  GRASSED AREAS
-  PAVING SLABS
-  GROUND COVER SHRUB PLANTING (to be agreed)
-  1.3x1.9m LOCKABLE BICYCLE SHEDS
- 

No.18

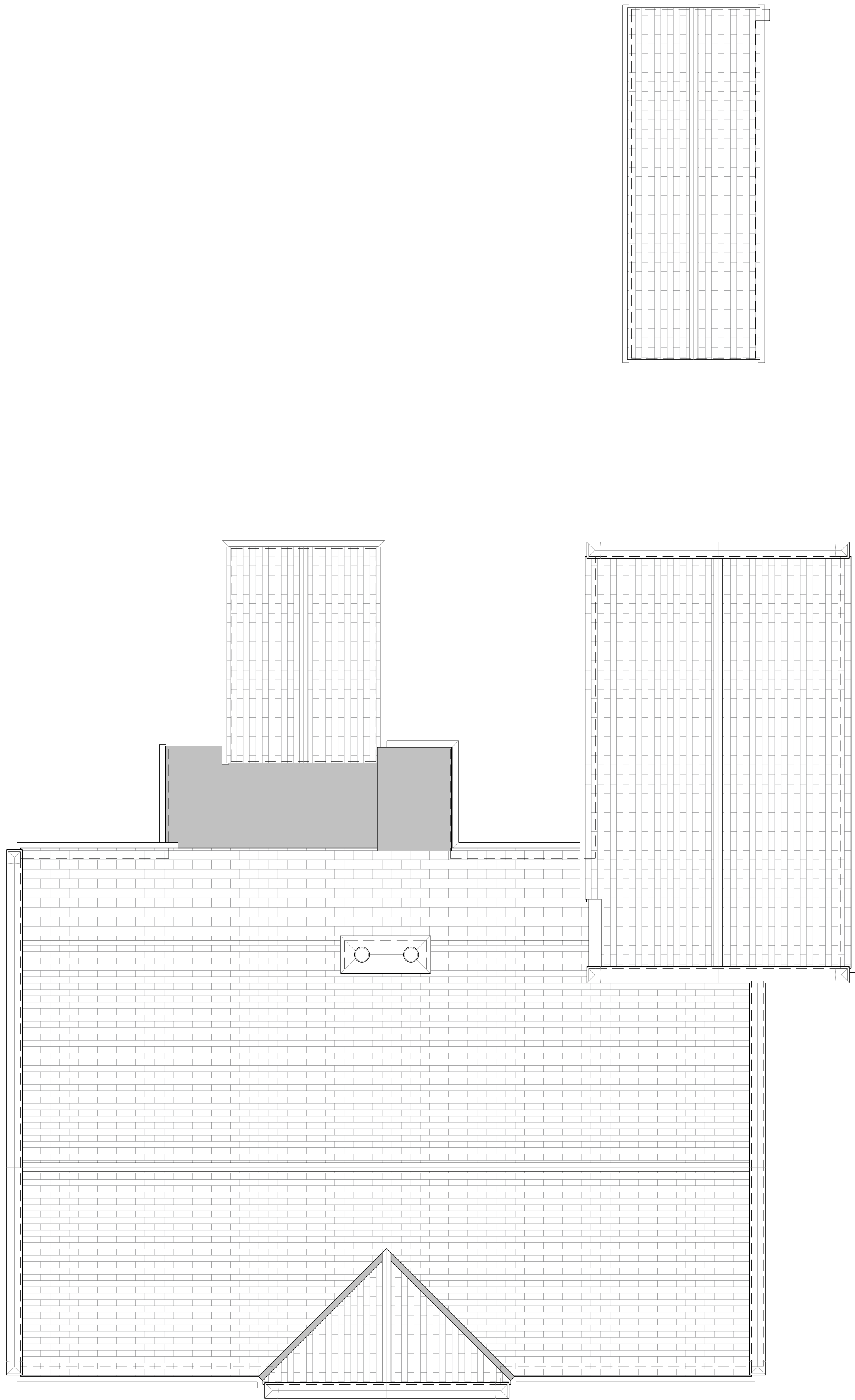
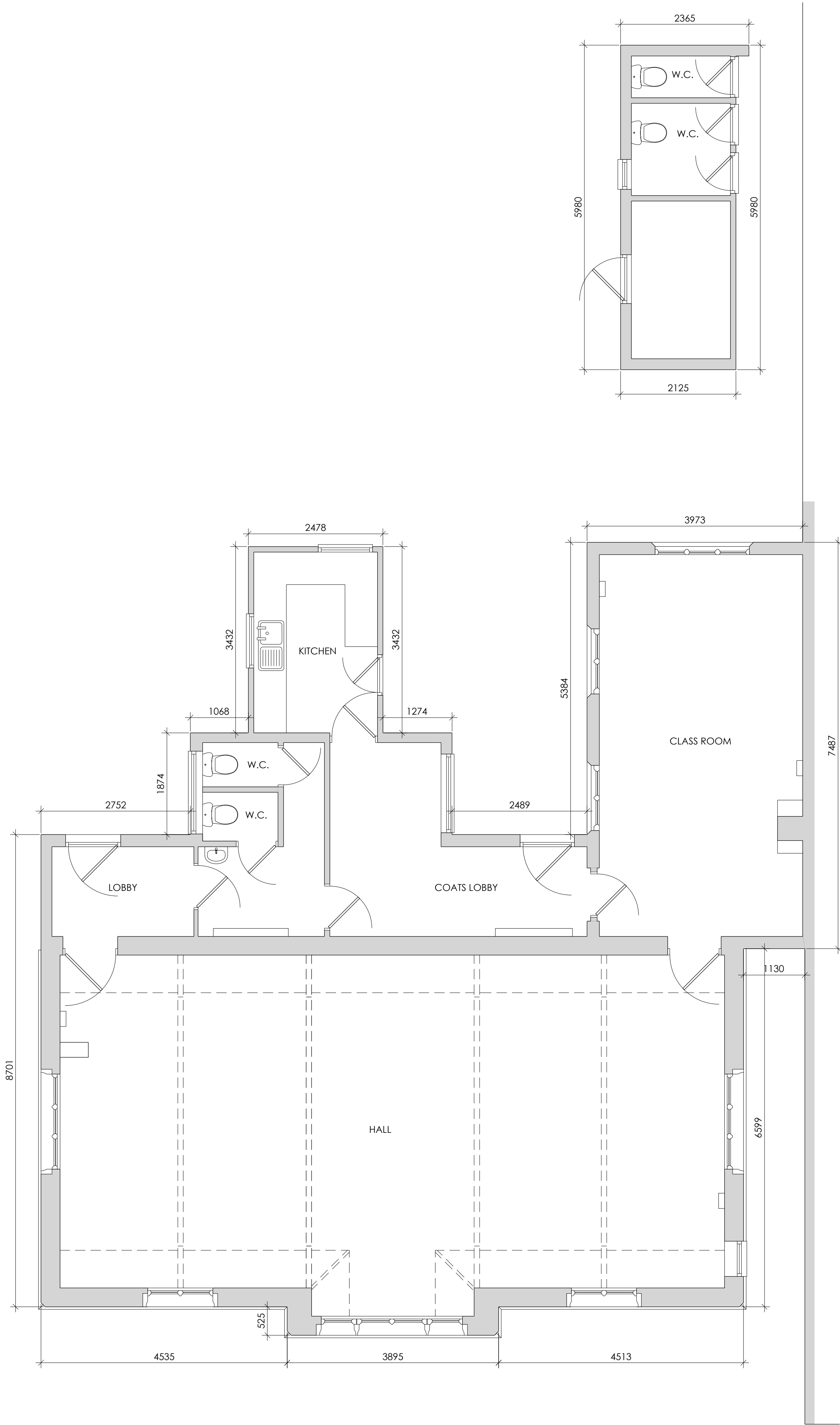


No.16

HIGH STREET



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CLIENT MR AND MRS S CLARIDGE			
DRAWING TITLE PROPOSED BLOCK PLAN			
DRAWN BY NFM		SCALE 1:200 @ A3	
DATE 26/06/25		DWG. No. 25-20-205	
		REV.	



REV	DATE	BY	REVISION NOTES
A	20/08/25	NFM	Dimensions added.

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HIGH STREET, BLUNTISHAM,
CAMBRIDGESHIRE. PE28 3LD

CLIENT
MR AND MRS S CLARIDGE

DRAWING TITLE
EXISTING FLOOR AND ROOF PLANS

DRAWN BY	SCALE	1:50 @ A1
NFM	0.5 1.0 1.5 2.0 2.5 3.0	

DATE	DWG. No.	REV.
26/06/25	25-20-200	A



FRONT (EAST) ELEVATION



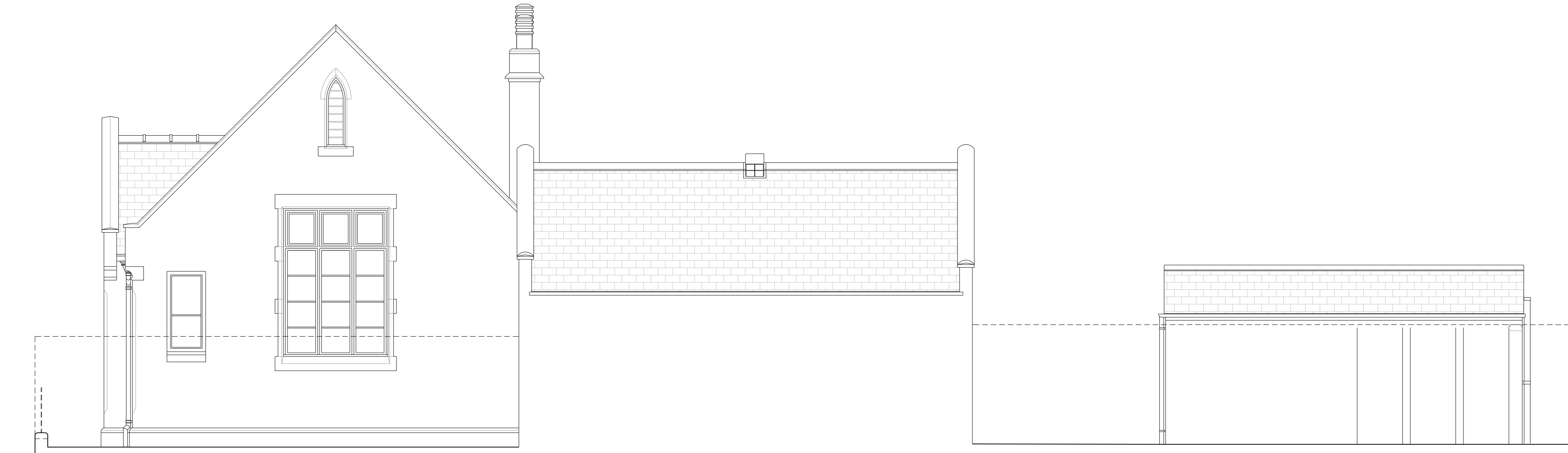
REAR (WEST) ELEVATION



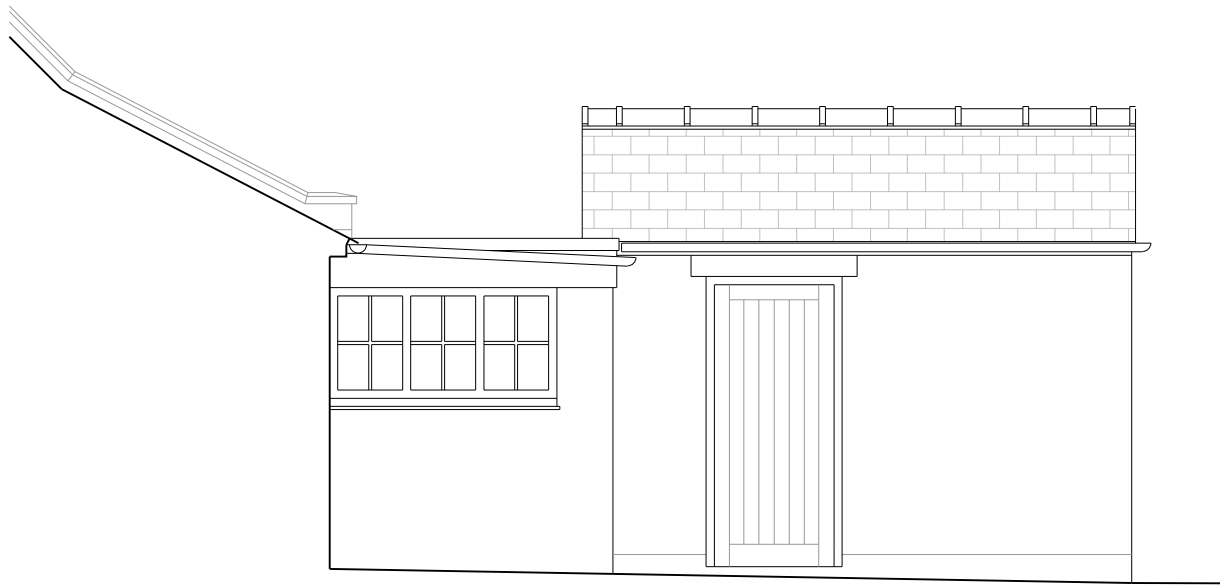
SIDE (SOUTH) ELEVATION



SOUTH ELEVATION ONTO CLASS ROOM



SIDE (NORTH) ELEVATION



NORTH ELEVATION ONTO KITCHEN AND COATS LOBBY

REV	DATE	BY	REVISION NOTES
A	20/08/25	NFM	Dimensions added.

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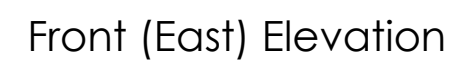
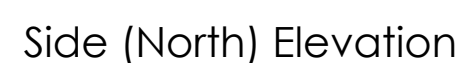
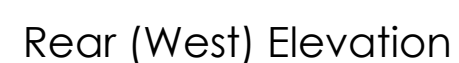
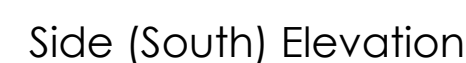
PROJECT
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EXTENSION TO "THE OLD DAY SCHOOL"
HIGH STREET, BLUNTISHAM,
CAMBRIDGESHIRE. PE28 3LD

CLIENT
MR AND MRS S CLARIDGE






DRAWING TITLE
EXISTING ELEVATIONS

DRAWN BY	SCALE	1:50 @ A1
NFM	0.5	1.0

DATE	DWG. No.	REV.
26/06/25	25-20-201	A




LEGEND

-  WALLS TO BE REMOVED
 EXISTING STRUCTURE (External walls will need lining)
 PROPOSED WALLS AND STRUCTURE
 OUTLINE OF BUILDINGS SHOWN ON WITHDRAWN APPLICATION
 AREA OF EXISTING CEILING TO BE REMOVED AND REPLACED AT HIGHER LEVEL OVER MEZZANINE




REV	DATE	BY	REVISION NOTES
B	22/07/25	NFM	Main hall layout and mezzanine revised.
A	16/07/25	NFM	Layout of Bedroom 1 and mezzanine revised

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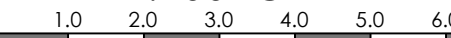
PROJECT
PROPOSED CHANGE OF USE AND
EXTENSION TO "THE OLD DAY SCHOOL"
HIGH STREET, BLUNTISHAM,
CAMBRIDGESHIRE. PE28 3LD

CLIENT
MR AND MRS S CLARIDGE

DRAWING TITLE
PROPOSED FLOOR PLAN, ELEVATIONS
AND SECTION

DRAWN BY
NFM

SCALE **1:100 @ A1**



1.0 2.0 3.0 4.0 5.0 6.0

DATE
26/06/25

DWG. No. **25-20-202**

REV.
B

- 1

RAKE OUT MORTAR AND REMOVE DAMAGED BRICKS. TURN BRICKS TO SHOW INNER FACE AND RE-BED IN LIKE MORTAR
- 2

RE-POINT BRICKWORK IN LIKE MORTAR
- 3

REPAIR CRACK IN STONE CILL USING LIKE MATERIAL
- 4

REMOVE CLAY COPING, CLEAN OF EXISTING MORTAR AND RE-BED WITH LIKE MORTAR, REPLACE DAMAGED WITH LIKE.
- 5

REMOVE CONCRETE COPINGS AND REPLACE WITH CLAY COPINGS TO MATCH MAIN ROOF.
- 6

REMOVE PLASTIC HALF ROUND GUTTERS AND REPLACE WITH BOX GUTTER TO MATCH LEFT WING, REINSTATE TIMBER FEATURES TO MATCH LEFT WING
- 7

REPAIR EXISTING CAST IRON DOWN PIPES
- 8

BREAK OUT EXISTING GULLY, EXPOSE DRAIN AND REPLACE GULLY WITH NEW VERTICAL INLET GULLY TO SUIT.
- 9

REMOVE EXISTING RENDER AND REPLACE WITH THROUGH COLOURED RENDER e.g. MONOCOUCHE.
- 10

REMOVE HEATER FLUE AND BRICK UP USING RECLAIMED BRICKS TO MATCH IN WITH EXISTING
- 11

REPLACE EXISTING PLASTIC RAINWATER GOODS WITH BLACK, ALUMINIUM TRADITIONAL PROFILED GUTTERS AND DOWN PIPES.
- 12

SAND DOWN AND REDECORATE EXISTING TIMBER DOOR, MAKE LOCALISED REPAIRS TO FRAME AND WEATHERBOARD.
- 13

RAKE OUT EXISTING MODERN MORTAR AND REPLACE WITH LIME MORTAR TO MATCH IN WITH EXISTING
- 14

REMOVE WINDOW FRAME AND BRICK UP OPENING USING RECLAIMED BRICKS FROM DEMOLISHED BUILDINGS
- 15

CAREFULLY REMOVE SLATES AND SET ASIDE FOR RE-USE, PROVIDE NEW BREATHABLE ROOFING MEMBRANE AND TIMBER BATTENS AND RE-ROOF.
- 16

REPAIR TIMBER ROOF VOID VENT GRILLS, SAND DOWN AND RE-DECORATE FIX HEAVY DUTY FLY SCREEN MESH TO INSIDE FACE.
- 17

LOCALISED REPAIRS TO TIMBER CILL, RERPLACE WITH LIKE FOR LIKE
- 18

REMOVE RENDER FROM REVEALS OF NEWLY INSERTED WINDOW, REPAIR BRICKWORK AROUND OPENING
- 19

CAREFULLY REMOVE DOUBLE BULL NOSED ENGINEERING BRICK COPINGS, SET ASIDE FOR RE-USE, REBUILD WALL BELOW USING RECLAIMED BRICK TO MATCH IN WITH EXISTING, HEIGHT TO BE AS EXISTING
- 20

TAKE DOWN STEEL RAILINGS AND REMOVE ALL PAINTWORK, PREPARE FOR RE-DECORATION, RE-INSTATE RAILINGS AS EXISTING USING LIKE FOR LIKE FIXINGS AND BRACKETS
- 21

REMOVE LOW LEVEL PLASTER AND SEAL WALL AGAINST DAMP.
- 22

REMOVE WALL / FLOOR MOUNTED GAS HEATERS
- 23

REPLACE BROKEN GLAZING
- 24

RETAIN LATH AND PLASTER CEILING, MAKE LOCALISED REPAIRS USING LIKE MATERIALS
- 25

RETAIN TIMBER MECHANICAL CLOCK CASING SAND DOWN AND PREPARE FOR RE-DECORATION
- 26

REMOVE DOOR, DOOR FRAME AND SIDE PANELS, EXPOSE ORIGINAL ARCH OPENING AND INSERT NEW FRAME TO TAKE ORIGINAL STORED ARCHED DOOR.
- 27

CAREFULLY REMOVE CAST COAT OF ARMS, CLEAN UP AND REINSTATE ON NEW WALL FINISH TO RIGHT OF NEW OPENING
- 28

RETAIN FIREPLACE PROJECTIONS
- 29

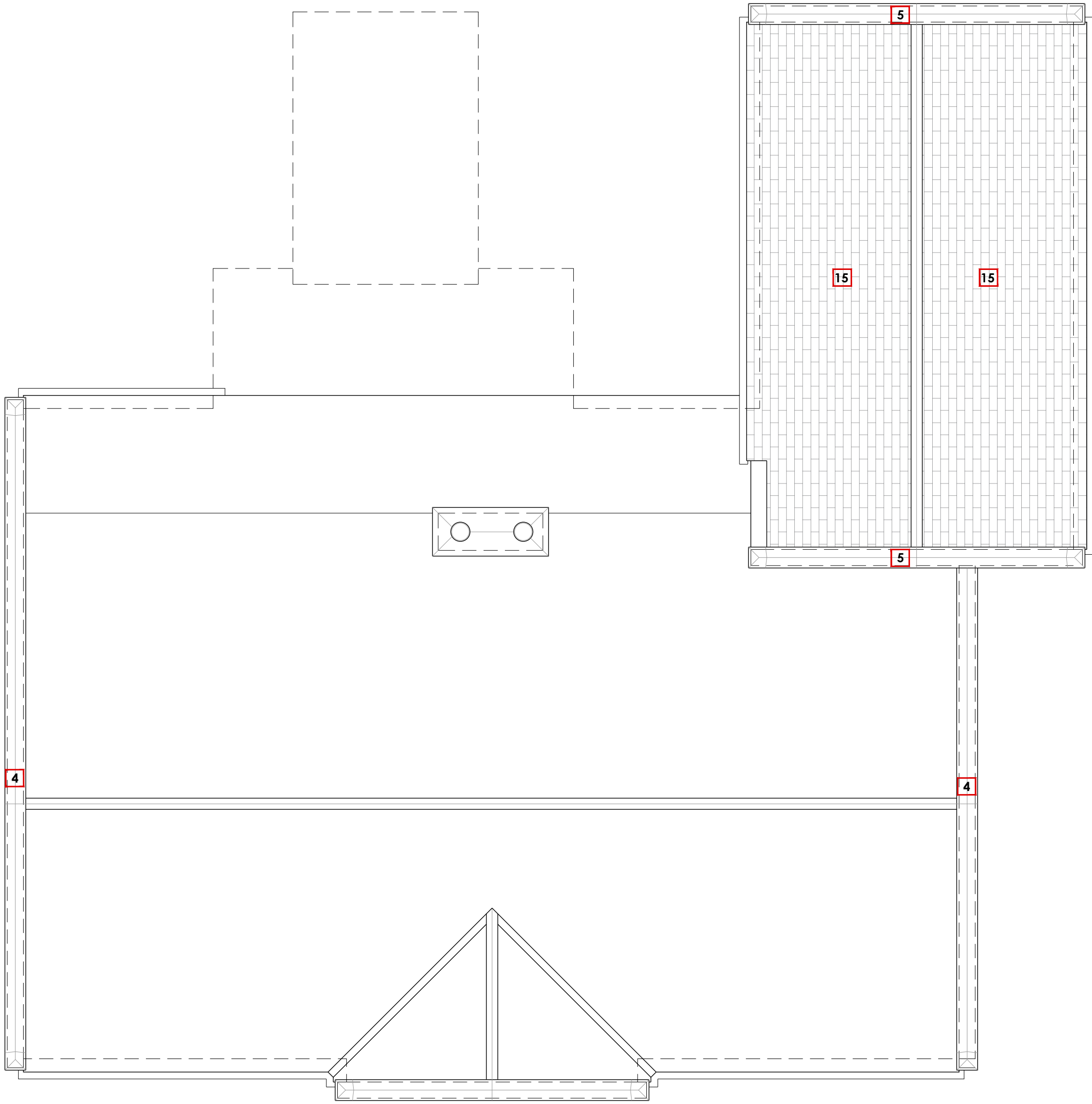
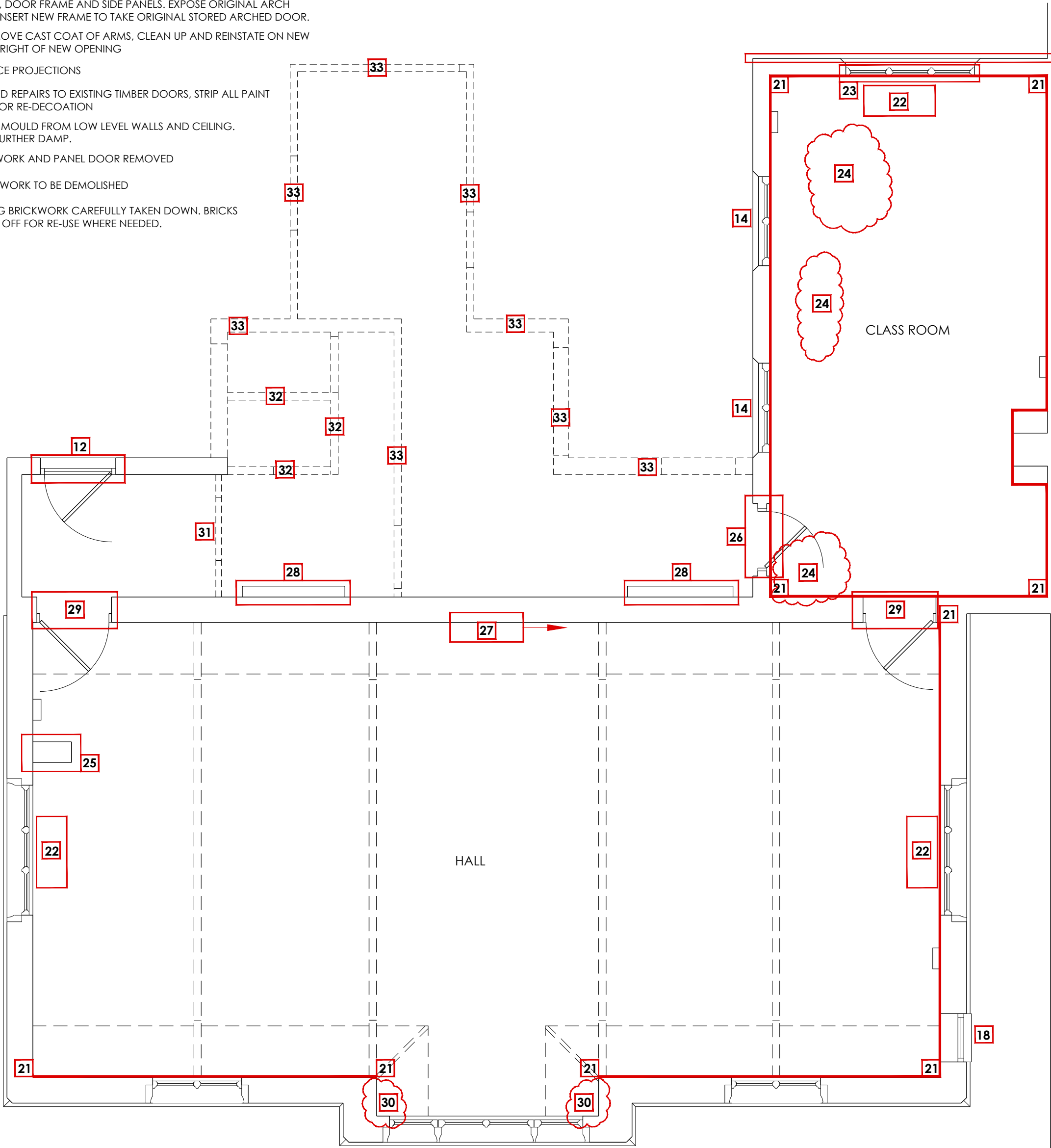
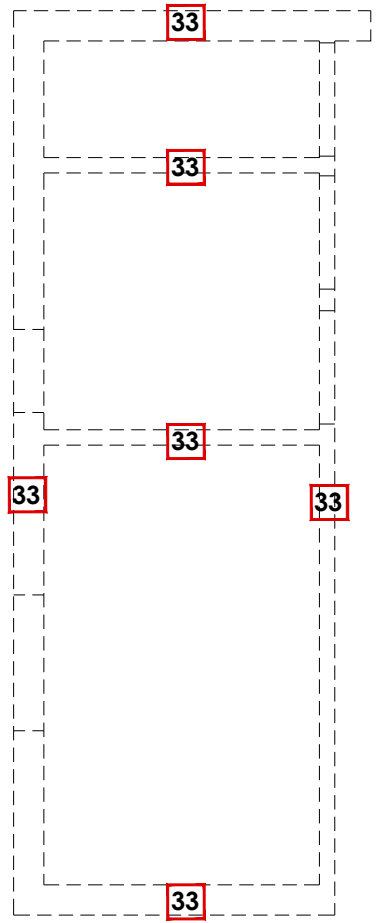
MAKE LOCALISED REPAIRS TO EXISTING TIMBER DOORS, STRIP ALL PAINT AND PREPARE FOR RE-DECOATION
- 30

REMOVE DAMP MOULD FROM LOW LEVEL WALLS AND CEILING, SEAL AGAINST FURTHER DAMP.
- 31

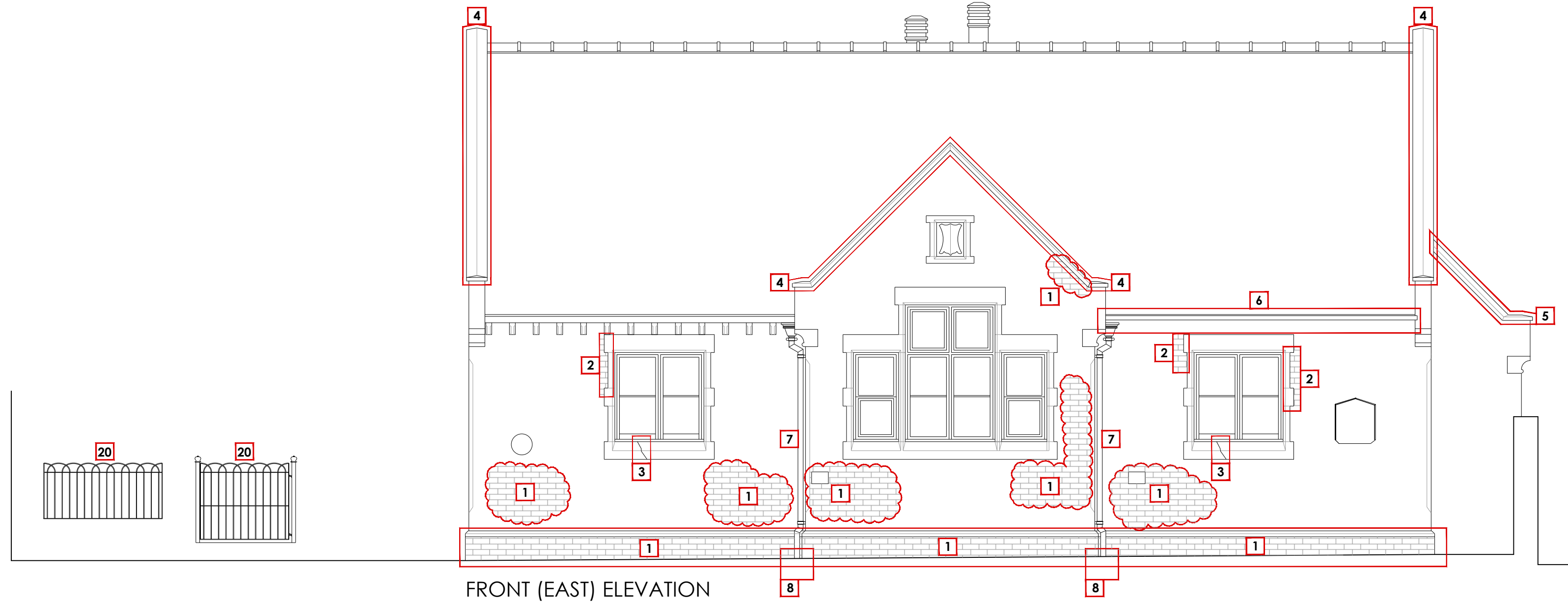
MODERN STUDWORK AND PANEL DOOR REMOVED
- 32

PAINTED BLOCKWORK TO BE DEMOLISHED
- 33

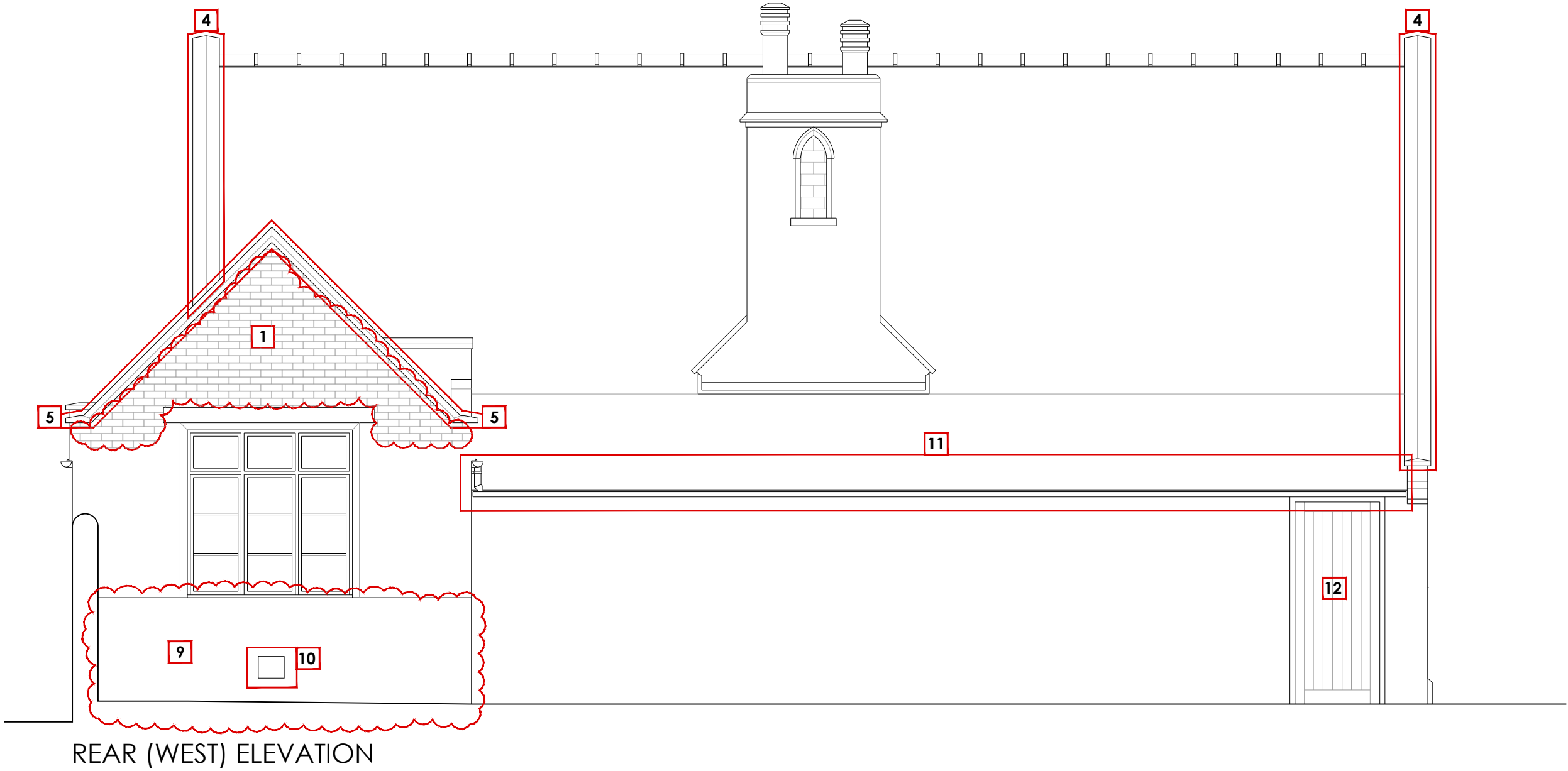
PAINTED FACING BRICKWORK CAREFULLY TAKEN DOWN, BRICKS TO BE CLEANED OFF FOR RE-USE WHERE NEEDED.



REV	DATE	BY	REVISION NOTES
			Suite 2, Clare Hall, St Ives Business Park, Parsons Green, St Ives, Cambs, PE27 4WY
			© COPYRIGHT Tel: 01480 494969 Email: enquiries@planningandarchitecture.co.uk Web: www.planningandarchitecture.co.uk
			PROJECT PROPOSED CHANGE OF USE AND EXTENSION TO "THE OLD DAY SCHOOL" HIGH STREET, BLUNTISHAM, CAMBRIDGESHIRE. PE28 3LD
			CLIENT MR AND MRS S CLARIDGE
			DRAWING TITLE RENOVATION DETAILS FLOOR AND ROOF PLAN
			DRAWN BY NFM
			SCALE 1:50 @ A1
			DATE 26/06/25
			DWG. No. 25-20-203
			REV.

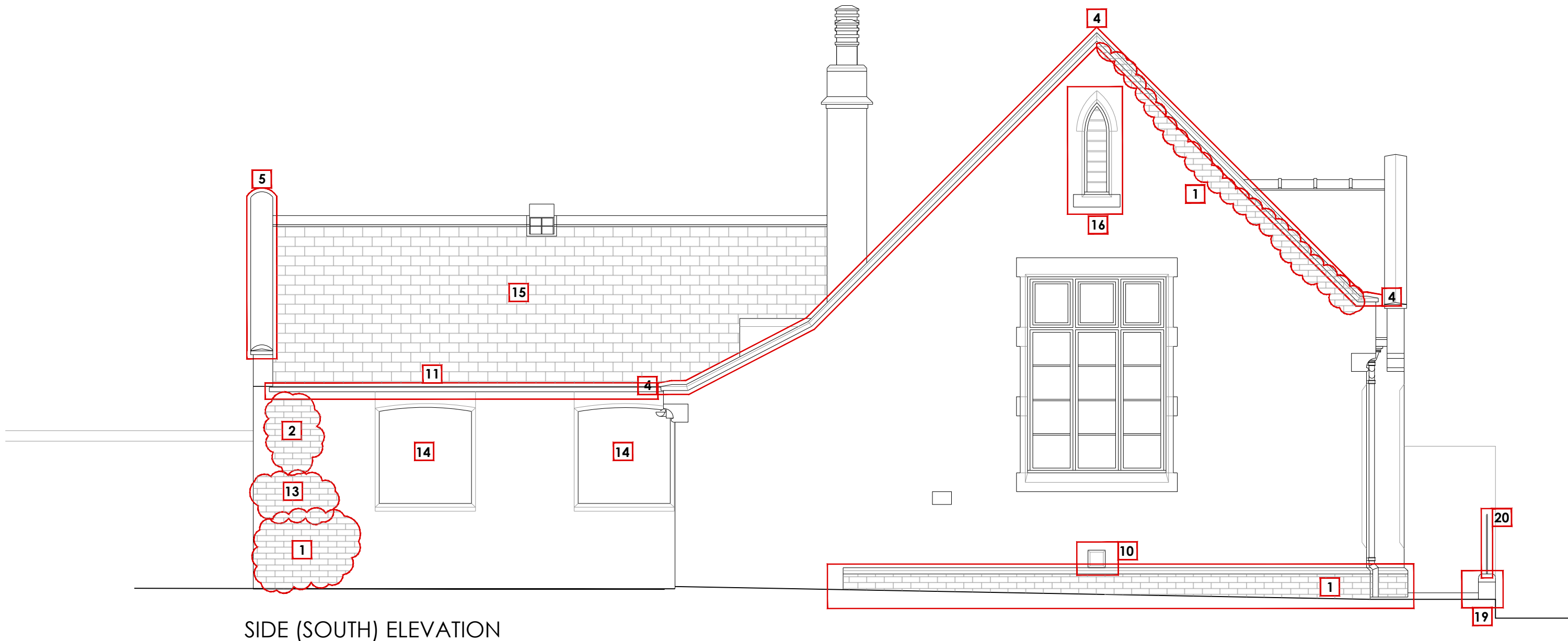


FRONT (EAST) ELEVATION

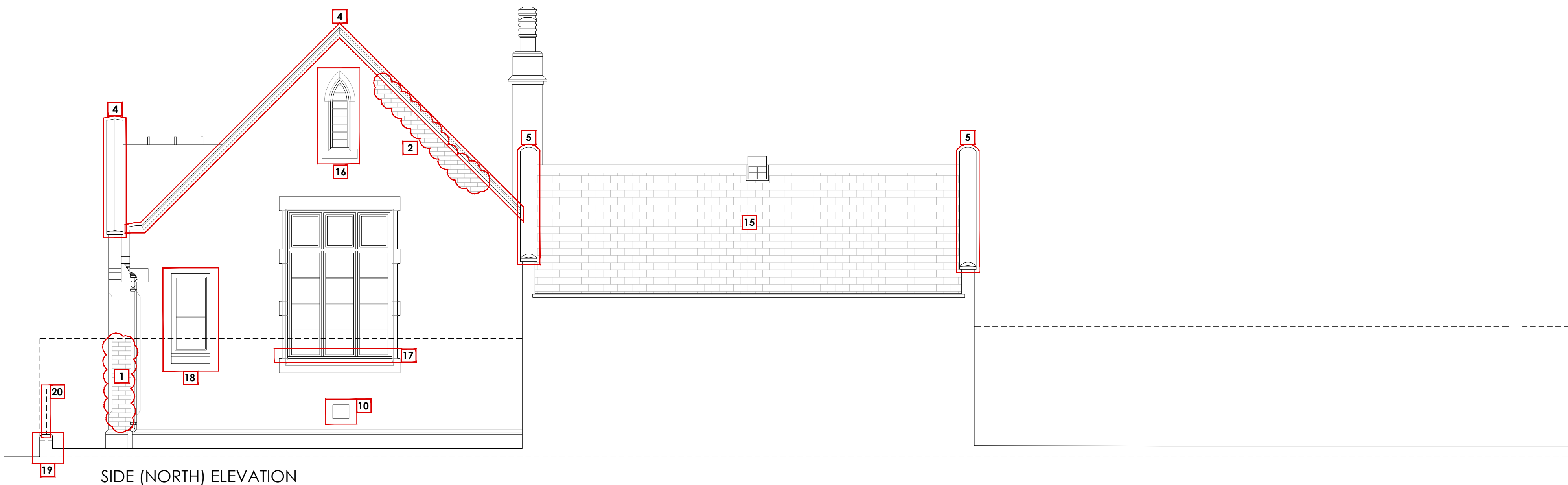


REAR (WEST) ELEVATION

- 1 RAKE OUT MORTAR AND REMOVE DAMAGED BRICKS. TURN BRICKS TO SHOW INNER FACE AND RE-BED IN LIKE MORTAR
- 2 RE-POINT BRICKWORK IN LIKE MORTAR
- 3 REPAIR CRACK IN STONE CILL USING LIKE MATERIAL
- 4 REMOVE CLAY COPING, CLEAN OF EXISTING MORTAR AND RE-BED WITH LIKE MORTAR. REPLACE DAMAGED WITH LIKE.
- 5 REMOVE CONCRETE COPINGS AND REPLACE WITH CLAY COPINGS TO MATCH MAIN ROOF.
- 6 REMOVE PLASTIC HALF ROUND GUTTERS AND REPLACE WITH BOX GUTTER TO MATCH LEFT WING. REINSTATE TIMBER FEATURES TO MATCH LEFT WING
- 7 REPAIR EXISTING CAST IRON DOWN PIPES
- 8 BREAK OUT EXISTING GULLY. EXPOSE DRAIN AND REPLACE GULLY WITH NEW VERTICAL INLET GULLY TO SUIT.
- 9 REMOVE EXISTING RENDER AND REPLACE WITH THROUGH COLOURED RENDER e.g. MONOCOUCHE.
- 10 REMOVE HEATER FLUE AND BRICK UP USING RECLAIMED BRICKS TO MATCH IN WITH EXISTING
- 11 REPLACE EXISTING PLASTIC RAINWATER GOODS WITH BLACK, ALUMINIUM TRADITIONAL PROFILED GUTTERS AND DOWN PIPES.
- 12 SAND DOWN AND REDECORATE EXISTING TIMBER DOOR. MAKE LOCALISED REPAIRS TO FRAME AND WEATHERBOARD.
- 13 RAKE OUT EXISTING MODERN MORTAR AND REPLACE WITH LIME MORTAR TO MATCH IN WITH EXISTING
- 14 REMOVE WINDOW FRAME AND BRICK UP OPENING USING RECLAIMED BRICKS FROM DEMOLISHED BUILDINGS
- 15 CAREFULLY REMOVE SLATES AND SET ASIDE FOR RE-USE. PROVIDE NEW BREATHABLE ROOFING MEMBRANE AND TIMBER BATTENS AND RE-ROOF.
- 16 REPAIR TIMBER ROOF VOID VENT GRILLS. SAND DOWN AND RE-DECORATE FIX HEAVY DUTY FLY SCREEN MESH TO INSIDE FACE.
- 17 LOCALISED REPAIRS TO TIMBER CILL. REPLACE WITH LIKE FOR LIKE
- 18 REMOVE RENDER FROM REVEALS OF NEWLY INSERTED WINDOW. REPAIR BRICKWORK AROUND OPENING
- 19 CAREFULLY REMOVE DOUBLE BULL NOSED ENGINEERING BRICK COPINGS. SET ASIDE FOR RE-USE. REBUILD WALL BELOW USING RECLAIMED BRICK TO MATCH IN WITH EXISTING. HEIGHT TO BE AS EXISTING
- 20 TAKE DOWN STEEL RAILINGS AND REMOVE ALL PAINTWORK. PREPARE FOR RE-DECORATION. RE-INSTATE RAILINGS AS EXISTING USING LIKE FOR LIKE FIXINGS AND BRACKETS



SIDE (SOUTH) ELEVATION



SIDE (NORTH) ELEVATION

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			PARTNERS in PLANNING and ARCHITECTURE
			PROJECT PROPOSED CHANGE OF USE AND EXTENSION TO "THE OLD DAY SCHOOL" HIGH STREET, BLUNTISHAM, CAMBRIDGESHIRE. PE28 3LD
			CLIENT MR AND MRS S CLARIDGE
			DRAWING TITLE RENOVATION DETAILS ELEVATIONS
			DRAWN BY NFM
			SCALE 1:50 @ A1
			DATE 26/06/25
			DWG. No. 25-20-204
			REV.



1 3D View South



6 3D View North-West



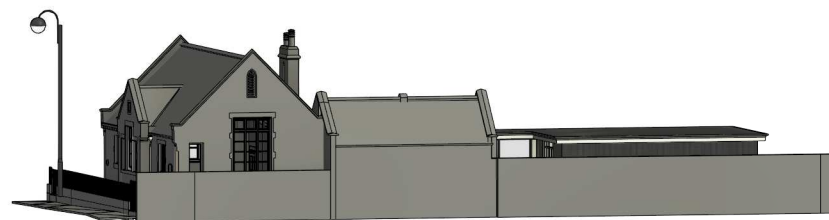
2 3D View South East



3 3D View South West



4 3D View West



5 3D View North



REV	DATE	BY	REVISION NOTES
1	05/28/25	Author	Suite 2, Clare Hall, St Ives Business Park, Parsons Green, St Ives, Cumbria, LA1 4WY

PROJECT
The Old School House, High Street,
Bluntisham, Huntingdon PE28 3LD

CLIENT
Claridge

DRAWING TITLE
Proposed 3D Views

DRAWN BY Author	SCALE 1:100 @ A1
DATE 05/28/25	DWG. NO. 25-20-207
	REV.



PARTNERS
in PLANNING
and ARCHITECTURE

DEVELOPMENT MANAGEMENT COMMITTEE 15th December 2025

Case No: 25/01601/LBC

Proposal: Change of use from day school to residential dwelling.
Demolition of ancillary buildings to the rear and
construction of new rear extensions with internal
alterations

Location: The Old Day School, High Street, Bluntisham

Applicant: Mr Simon Claridge

Grid Ref: 536769 274581

Date of Registration: 8th September 2025

Parish: Bluntisham

RECOMMENDATION - REFUSE

This application is referred to the Development Management Committee (DMC) as the Officer's recommendation of refusal is contrary to that of the Parish Council.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 This application seeks listed building consent for the change of use from a day school to a residential dwelling along with the demolition of some ancillary outbuildings to the rear and the construction of new rear extensions. It should be noted that the submission also details works which require planning permission and which are the subject of a separate application (25/01600/FUL). This report seeks to separate the planning and listed building consent considerations but they should be read and understood in conjunction with one another. It should also be realised that a high level of less than substantial harm to the listed building has been identified during consultation with Conservation Officers and this applies to aspects of works both requiring listed building consent and planning permission.
- 1.2 The building is Grade II listed and within the Bluntisham Conservation Area. There are other listed buildings of varying grades in the vicinity of the application site.
- 1.3 This application has been accompanied by the following:
 - Design, Access and Heritage Statement;

- Preliminary Roost Assessment;
- Required location and existing and proposed plans;
- Marketing Information*

*Please note, this was obtained from earlier (but recent) applications for a similar development on this site by the same applicant. The information is considered to remain relevant and Officers have received confirmation from the agent that the applicant accepts this information being transferred to this application for consideration.

- 1.4 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (NPPF 2024) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2024 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

- 2.2 The NPPF 2024 sets out the Government's planning policies for (amongst other things):

- delivering a sufficient supply of homes;
- building a strong, competitive economy;
- achieving well-designed, beautiful and safe places;
- conserving and enhancing the natural, built and historic environment

- 2.3 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- LP2: Strategy for Development
- LP30: Biodiversity and Geodiversity
- LP34: Heritage Assets and their Settings

- 3.2 Supplementary Planning Documents (SPD) and Guidance:

- Bluntisham Conservation Area Character Statement (1999)

Local policies are viewable at <https://www.huntingdonshire.gov.uk>

4. RELEVANT PLANNING HISTORY

- 4.1 24/01614/FUL - Change of use from day school to residential, demolition of ancillary buildings to the rear and construction of new rear extensions (Withdrawn)
- 4.2 24/01615/LBC - Proposed works to facilitate change of use from day school to residential including demolition of ancillary buildings to the rear and construction of new rear extensions. (Withdrawn)
- 4.3 25/01600/FUL - Listed Building Consent for the change of use from day school to residential dwelling. Demolition of ancillary buildings to the rear and construction of new rear extensions with internal alterations - Pending Consideration (associated with this application).

5. CONSULTATIONS

- 5.1 Bluntisham Parish Council recommend approval and support bringing the building back into use whilst retaining the historic aspects.
- 5.2 HDC Conservation Team – Objection – High level of less than substantial harm to the building and less than substantial harm to the Conservation Area.
- 5.3 HDC Ecology Team – No representations received at the time of determination.
- 5.4 Historic England – No comments to make – seek advice of specialists.
- 5.5 CCC Historic Environment Team - No representations received at the time of determination.

6. REPRESENTATIONS

- 6.1 Three comments in support of the proposals have been received. These are available to view on HDC's Public Access Site but are broadly summarised below:
 - Building has been used infrequently, has been subjected to vandalism and looks tired and run down.
 - Building would make a great family home and the works would turn it into something wonderful.

- 100% supports renovation of the building.
- No highway safety concerns as a result of proposal.
- It will remain aesthetically in keeping with its surroundings and improvement to the streetscene.
- No other sustainable use – other attempts to use have failed.
- Can see no reason why this would not be permitted.

7. ASSESSMENT

7.1 The main issues to consider in the determination of this application are:

- Impact on Heritage Assets
- Biodiversity

Impact on heritage assets

7.2 The Old Day School is Grade II listed and located within the Bluntisham Conservation Area. The building is referenced within the Bluntisham Conservation Area Character Statement (1999). It states 'it is a well preserved and early example of a small rural school and presents as a simple, well-proportioned building in a pared down Tudor style constructed of local gault brick with stone detailing. Its earliest plan form remains legible and historic features, such as the clock, panelled doors, and the tablet displaying the coat of arms of the founder, enhance its architectural and historic authenticity'.

7.3 Section 72 of the Planning (LBCA) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

Section 66 of the Planning (LBCA) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Para. 212 of the NPPF sets out that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'.

Para. 213 states that 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'

Section 16(2) of the Planning (LBCA) Act 1990 (as amended) requires special regard to be had to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

- 7.4 The High Street comprises mainly residential properties with dwellings of varying age, scale and design along its length. The northern end of the High Street (to the east) is more modern with historic development more prevalent to the west of the street and to the southern end. There are a number of listed buildings (of varying grades) along the High Street (on both sides) at various points. The Old Day School was constructed in 1842 and the railings and walls to the front were listed along with the building in February 2024. The detached rear toilet block building and rear wall, were omitted from this listing. Previous applications under reference numbers 24/01614FUL and 24/01615/LBC which sought permission for a similar development were withdrawn following engagement with Officers due to heritage concerns. Whilst the current applications must be assessed upon their own merits, for the reasons set out below they have not overcome the heritage concerns of the previous applications and they are considered to be harmful to both the significance of the listed building and the Conservation Area. The Old Day School is a detached, predominantly brick and slate structure with a mixture of timber and ironwork windows and a number of pitched roof extensions/ancillary structures to the rear. The remaining site is predominantly hard surfacing with brick walls forming the rear and side boundaries. The front boundary is a low-level wall with iron railings above. There is a Grade II* Listed building to the immediate north and south-east with additional Grade II Listed buildings to the east, and south.
- 7.5 This application proposes the change of use of the building to a residential dwelling along with the demolition of some ancillary buildings to the rear and the construction of new rear extensions. Further to this, some general renovation is proposed as detailed within the submitted Heritage, Planning, Design and Access Statement and plans reference 25-202-203 and 25-20-204. Within the statement these are detailed as works 1-32 and, amongst other works propose works to ceilings, rainwater goods, glazing, door repairs and so on. HDC's Conservation Team and Historic England have been consulted.
- 7.6 Historic England did not wish to comment on the scheme but advised that this should not be read as 'no objection' and recommended that the views of specialist conservation advisers (Conservation Team) be sought. Conservation Officers object to the scheme with overriding concerns summarised as:
- The 1931 cloakroom and later kitchen extension illustrate the changes in educational standard during the 20th

Century. Thus, these form part of the significance of the building, and their demolition can only be supported to provide an appropriate extension to the building which will secure its long-term future use. The extension (as set out below) is considered to be inappropriate.

- Removing the lean-to cloakroom (C.1896) the girls entrance and slate roof results in an unacceptable loss of early historic fabric and an erosion of the historic and social significance of the building.
- The proposed rear extension (proposed living area) is substantial and extends across the rear of the building, a glazed link passage connects this with the bedroom and bathroom wing. These are relatively large, modern, glazed, flat roof structures which appear overly dominant and which would swamp the original building. These do not integrate well with the character of the original building. Whilst the theory of the glazing is noted (in order to allow views through the building to showcase the original building) this, in practice is unlikely to be achieved due to internal furnishings, paraphernalia, window treatments etc which the LPA would have no control of.
- Further to the concerns with regard to the relationship, scale and massing of the extensions these works would also result in the requirement for existing windows to be internalised resulting in the loss of historic glazing as well as the loss of eaves detailing where the flat roof would need to cut into the slate roof. The current space between the infants room and exiting kitchen extension would be infilled meaning that views of the chimney stack and side elevation of the infants room would either be lost or eroded.
- The Statement details that works to the boundary wall will be required but no specific details such as detailed drawings, engineer assessment or analysis of the railings or their proposed repair, storage and protection have been provided.
- The proposal would result in the subdivision of internal historic spaces which would erode the open floor plan and volumes of the principal spaces. This (along with the associated works) will result in the loss of historic fabric, undermines its original use and understanding of the space and how it functioned historically. The addition of a mezzanine to the main front classroom (as well as its subdivision) fundamentally undermines the unaltered nature of the building and the legibility of its earliest plan form.

- Insufficient detail has been provided to detail how the mezzanine would be supported or constructed. This will result in the need to remove one of the principal roof trusses and the loss of the original ceiling. No details as to how the roof will be supported following this removal have been provided. It would also cut across the line of the gable end window. Furthermore, the side of the mezzanine will be a solid wall so views of the gable window will be blocked in views from the hall and the proportions of the window internally will be obscured.
- The creation of a large opening in the original back wall of the Hall and the relocation of the original Tillard coat of arms will result in the loss of historic fabric and is not supported. The flues of the cloakroom chimneys appear to conjoin together via a substantial and ornate stack to the rear of the roof. Within the proposed plan form however part of the back wall will be removed in this location– no section or engineers drawings have been provided to understand the physical implications of this work or the impact on the chimney stack.

7.7 In terms of the proposed schedule of renovations, Conservation Officers have also raised concerns with regard to (referenced as numbered within the submitted documents):

- Works 14 – Removal and infill of original windows is not supported in principle.
- Works 21 – Plaster removal and damp sealing – insufficient details have been provided.
- Works 30 – Damp and mould treatment – there is a fundamental concern about the sealing of brickwork.

Conservation Officers are satisfied that the remainder of the proposed minor renovation works could be dealt with by condition in the event that Members choose to grant listed building consent. These would not however overcome the fundamental objections to the works in their entirety as set out above.

7.8 It is noted that there are some omissions which make it challenging for Officers to complete a thorough assessment of the scheme. Listed building consent may only be granted for works which are included as part of an application for listed building consent and which affect the special architectural and historical interest of the structure.

7.9 Under the earlier applications (24/01614/FUL & 24/01615/LBC) there were no proposals to undertake any works to the main roof,

floor, wall or windows and none for the installation of insulation or dry lining. These would generally be expected as part of a residential conversion. Whilst in this case the submission is an improvement as it acknowledges these works, it fails to provide specific details on these measures and so it is not possible to understand how these works may impact features such as retained windows or the clock mechanism. There is considered to be a fundamental lack of information regarding the floors, roof, ceiling, structural alterations and boundary wall and that in this regard, the impact of the works essential to secure the re-use of the building have not been detailed or justified.

- 7.10 Overall, whilst Conservation Officers recognise that the long-term future of the building needs to be secured and would be supportive of bringing the building back into use, this can only be achieved in conjunction with an appropriate scheme being presented. In this case they consider that whilst a residential conversion may be a possibility for the buildings re-use, in this instance the scale, massing and modern design of the proposed extensions as well as the other proposed works, as set out above are inappropriate and there is a lack of detail to support the application. The proposed scheme would result in a significant increase in the footprint of the building and is incompatible with its character, proportions and history. Conservation Officers conclude that the impact on the listed building would result in a high level of less than substantial harm and that the impact on the Conservation area would be less than substantial harm.
- 7.11 The NPPF (2024) at Para. 215 details that “where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.” In this case, this would result in the provision of a single private dwelling. Therefore, any public benefits would be limited (in comparison to restorative works to return the building to public use for example). As such, the level of harm in this instance is not considered to be outweighed, by the public benefits of bringing the building back into use.
- 7.12 Based upon the extent of the proposals set out in the preceding sections of this report and the advice of Conservation Officers as specialists, Officers conclude that the works would be contrary to Policies LP2 and LP34 of the Huntingdonshire Local Plan to 2036, the Planning (Listed Buildings and Conservation Areas) Act (1990) and the provisions of the NPPF (2024).

Biodiversity

- 7.13 In considering Ecological matters, given the age and condition of the building and the fact that it is vacant there is the potential that

it could support important or protected species. The application is accompanied by a Preliminary Roost Assessment prepared by Sound Ecology, dated July 2025 and received on the 21st of August 2025. This concludes that no notable or protected species would be impacted by the development and that no further surveys are required. It goes on to make some recommendations for precautionary working methods and enhancements which could be secured by condition in the event that Members choose to grant listed building consent.

- 7.14 Overall, having regard to the above, the development is acceptable with regard to its approach to biodiversity and subject to condition would accord with Policy LP30 of the Huntingdonshire Local Plan to 2036.

Conclusion

- 7.15 The alterations and proposed extensions by virtue of their siting, scale, mass, design and material finish would result in the addition of an incongruous form of development which would cause a high level of less than substantial harm to this Grade II Listed building and less than substantial harm to the surrounding Bluntisham Conservation Area. In addition, it would fail to respond positively to its surroundings, contribute to the character and identity of the area, or successfully integrate with the host building. The proposed internal works to facilitate the conversion would also result in a high level of less than substantial harm to the heritage significance of the building and insufficient detail has been provided to allow Officers to fully assess all elements of the heritage impact. The public benefits of bringing the building back into use in this instance would not outweigh the identified harm. The scheme as a whole is contrary to Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policy LP34 of Huntingdonshire's Local Plan to 2036, and Section 12 and 16 of the National Planning Policy Framework (2024).

8. RECOMMENDATION - REFUSE for the following reasons

- 8.1 The alterations and proposed extensions by virtue of their siting, scale, mass, design and material finish would result in the addition of an incongruous form of development which would cause a high level of less than substantial harm to this Grade II Listed building and less than substantial harm to the surrounding Bluntisham Conservation Area. In addition, it, it would fail to respond positively to its surroundings, contribute to the character and identity of the

area, or successfully integrate with the host building. The proposed internal works to facilitate the conversion would also result in a high level of less than substantial harm to the heritage significance of the building and insufficient detail has been provided to allow Officers to fully assess all elements of the heritage impact. The public benefits of bringing the building back into use in this instance would not outweigh the identified harm. The scheme as a whole is contrary to Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policy LP34 of Huntingdonshire's Local Plan to 2036, and Section 12 and 16 of the National Planning Policy Framework (2024).

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388640 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquires about this report to **Kevin Simpson – Senior Development Management Officer -**
kevin.simpson@huntingdonshire.gov.uk

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Developmentcontrol@huntingdonshire.gov.uk

01480 388424
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Head of Planning Services
Pathfinder House
St. Mary's Street
Huntingdon
Cambridgeshire PE 29 3TN

Application Number: 25/01601/LBC Case Officer Kevin Simpson

Proposal: Listed Building Consent for the change of use from day school to residential dwelling. Demolition of ancillary buildings to the rear and construction of new rear extensions with internal alterations

Location: The Old Day School High Street Bluntisham

Observations of Bluntisham Town/Parish Council.

Please ✓ box as appropriate

☒

Recommend **approval** because(please give relevant planning reasons in space below)

The PC fully support the application to bring the building back into use while retaining the historic aspects of the dwelling & the site

☐

Recommend **refusal** because...(please give relevant planning reasons in space below)

☐

No observations either in favour or against the proposal

 Clerk to Bluntisham Town/Parish Council. (For GDPR purposes please do not sign)

Date : 6-10-25

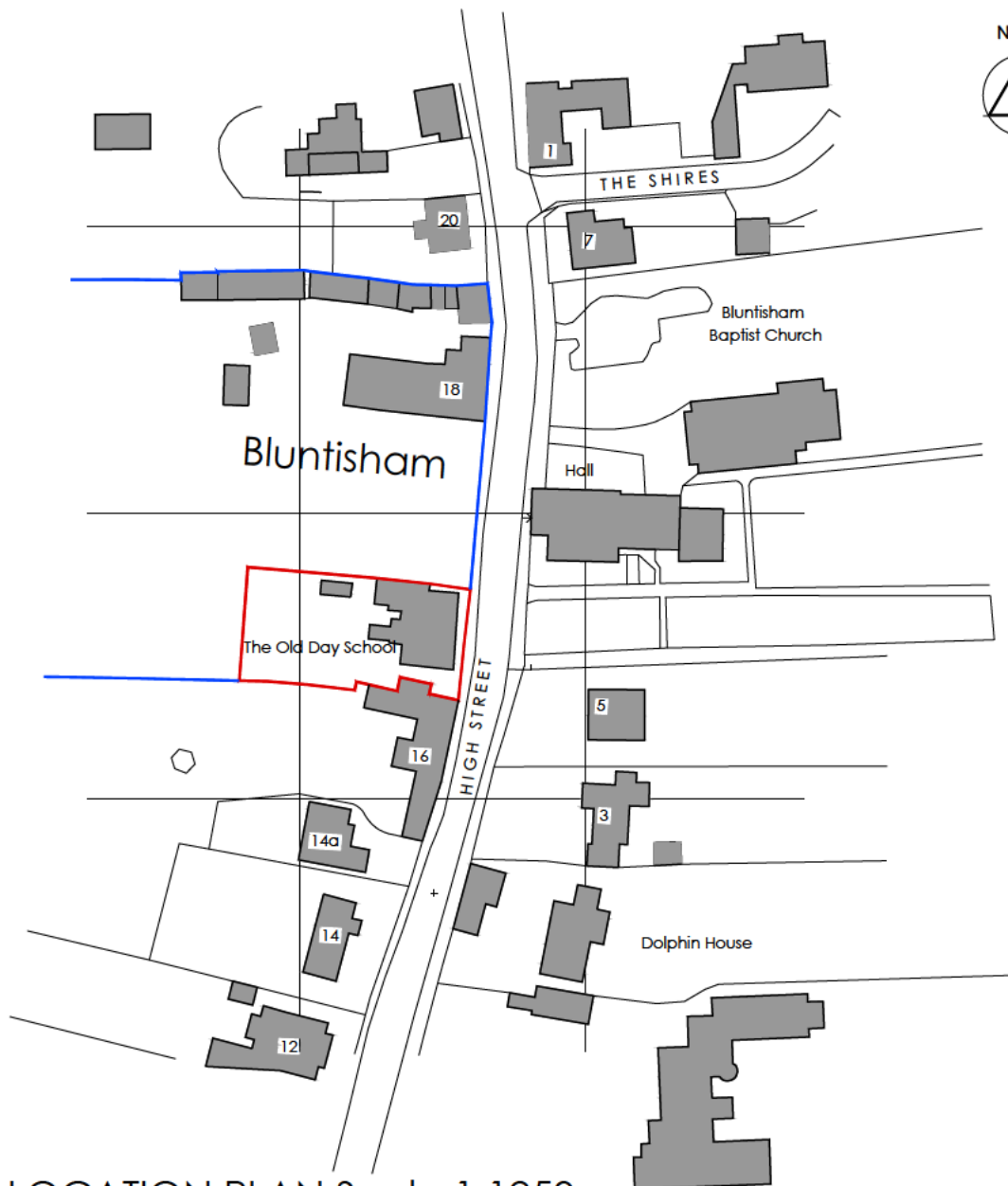
Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

Please send response to email address below:-

Development.control@huntingdonshire.gov.uk

(Development Management)



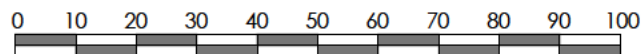


LOCATION PLAN Scale 1:1250

Site Area = 0.073ha.

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Scale 1:1250



REV	DATE	BY	REVISION NOTES
A	20/08/25	NFM	Blue line added around client adjoining land.

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<p>PROJECT PROPOSED CHANGE OF USE AND EXTENSION TO "THE OLD DAY SCHOOL" HIGH STREET, BLUNTISHAM, CAMBRIDGESHIRE. PW28 3LD</p>
<p>CLIENT MR AND MRS S CLARIDGE</p>
<p>DRAWING TITLE PROPOSED LOCATION PLAN</p>

<p>DRAWN BY NFM</p>	<p>SCALE 1:1250 @ A4</p>
<p>DATE 26/06/25</p>	<p>DWG. No. 25-20-206</p>
	<p>REV. A</p>



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<p>PROJECT PROPOSED CHANGE OF USE AND EXTENSION TO "THE OLD DAY SCHOOL" HIGH STREET, BLUNTISHAM, CAMBRIDGESHIRE. PE28 3LD</p>			
<p>CLIENT MR AND MRS S CLARIDGE</p>			
<p>DRAWING TITLE EXISTING BLOCK PLAN</p>			
<p>DRAWN BY NFM</p>		<p>SCALE 1:200 @ A3</p>	
<p>DATE 20/08/25</p>		<p>DWG. No. 25-20-208</p>	
		<p>REV.</p>	

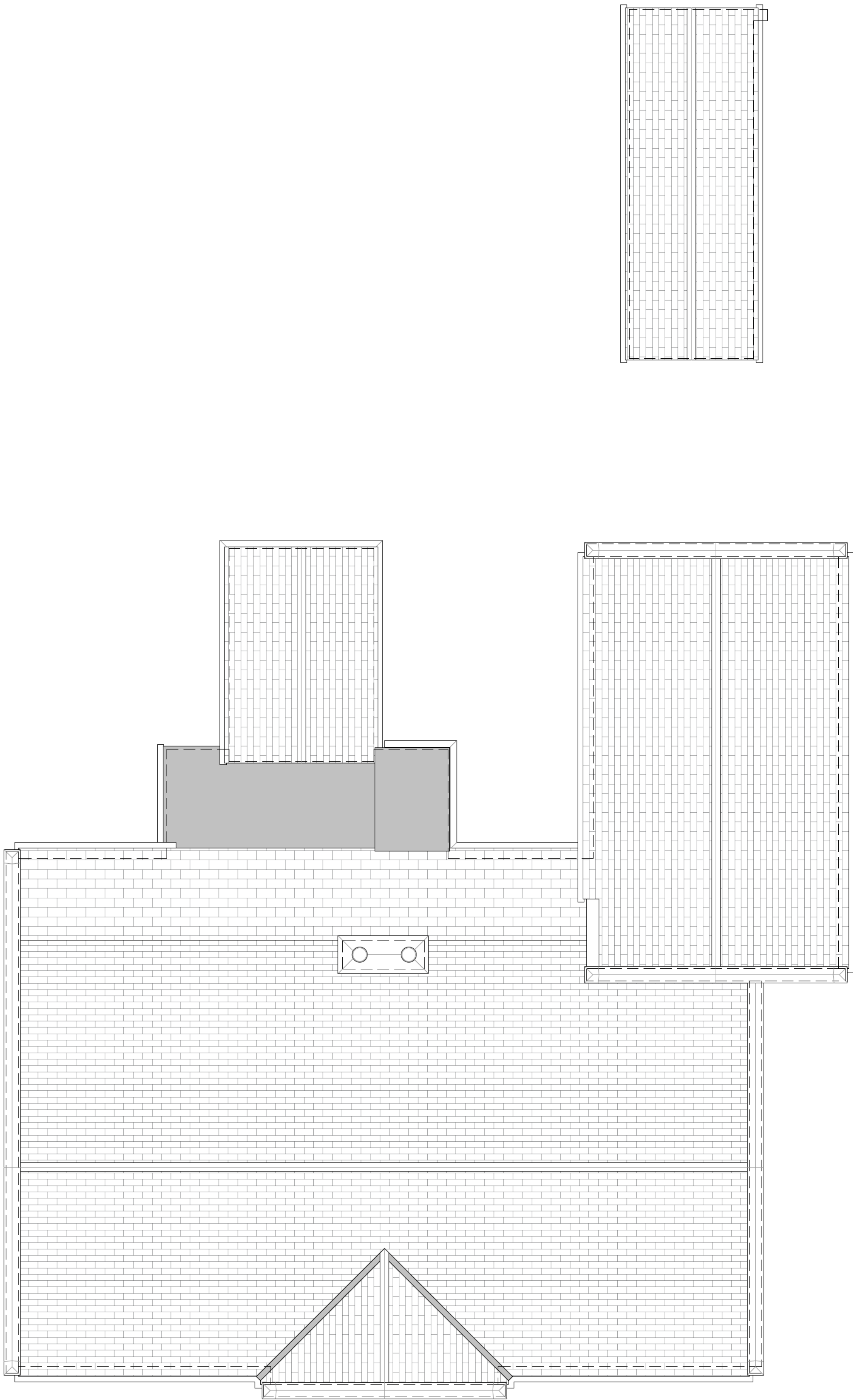
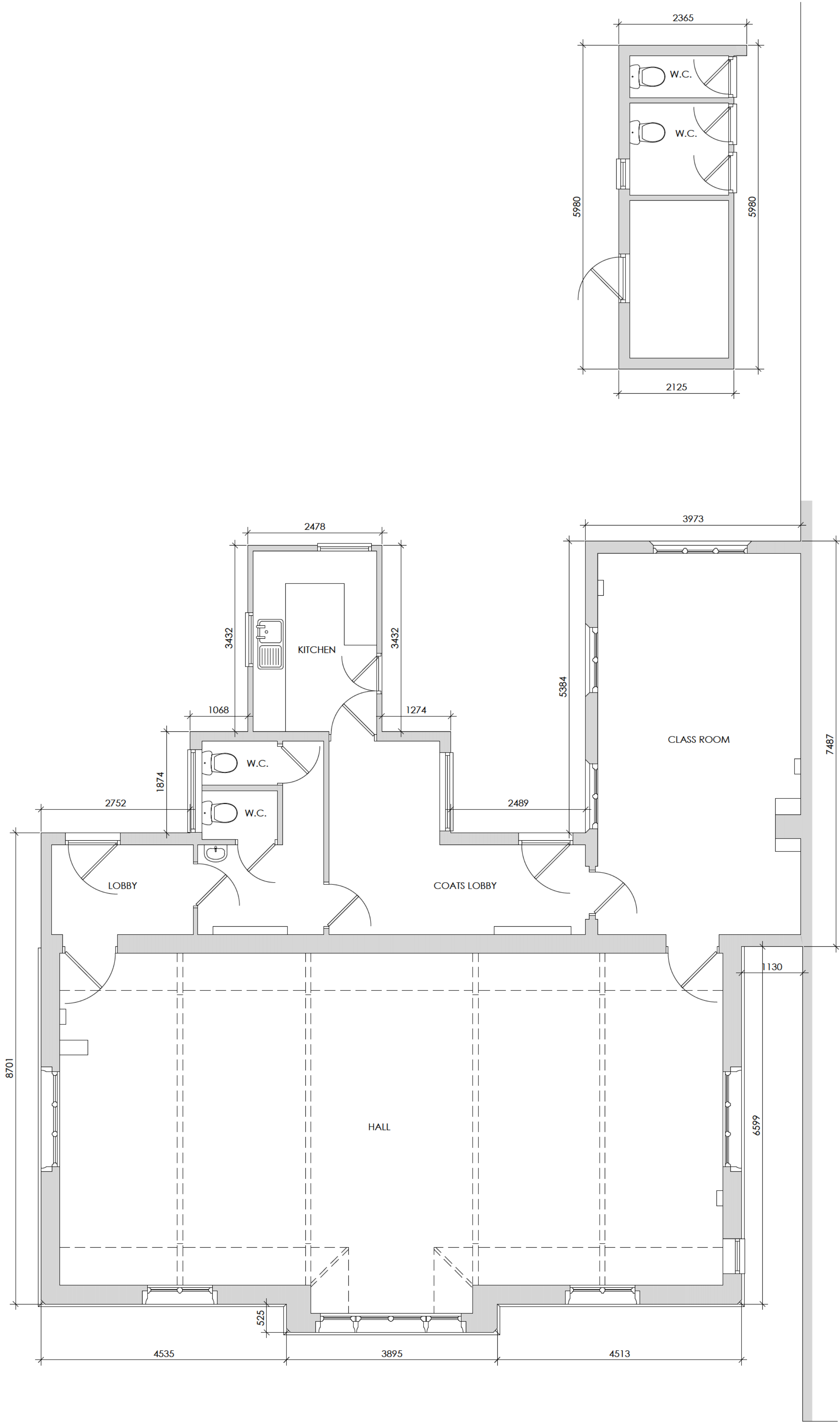
LEGEND

-  GRASSED AREAS
-  PAVING SLABS
-  GROUND COVER SHRUB PLANTING (to be agreed)
-  1.3x1.9m LOCKABLE BICYCLE SHEDS
- 

No.18



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			CLIENT MR AND MRS S CLARIDGE
			DRAWING TITLE PROPOSED BLOCK PLAN
			DRAWN BY NFM
			SCALE 1:200 @ A3 0.0 2.0 4.0 6.0 8.0 10
			DATE 26/06/25
			DWG. No. 25-20-205
			REV.



REV	DATE	BY	REVISION NOTES
A	20/08/25	NFM	Dimensions added.

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EXTENSION TO "THE OLD DAY SCHOOL"
HIGH STREET, BLUNTISHAM,
CAMBRIDGESHIRE. PE28 3LD

CLIENT
MR AND MRS S CLARIDGE

DRAWING TITLE
EXISTING FLOOR AND ROOF PLANS

DRAWN BY	SCALE	1:50 @ A1
NFM	0.5	1.0

DATE	DWG. No.	REV.
26/06/25	25-20-200	A



FRONT (EAST) ELEVATION



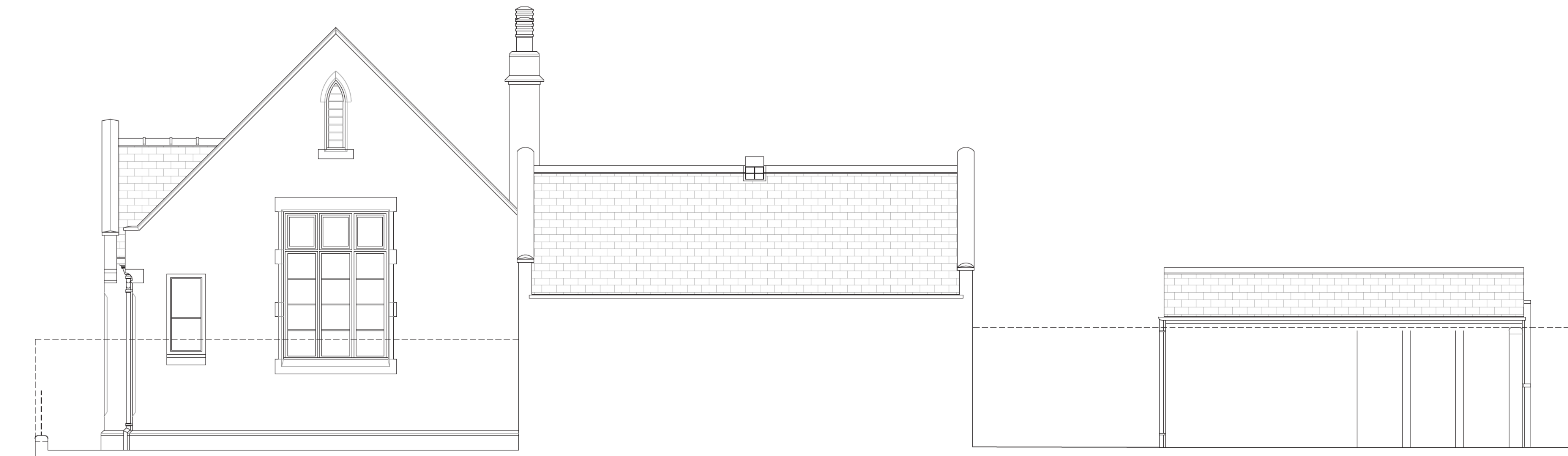
REAR (WEST) ELEVATION



SIDE (SOUTH) ELEVATION



SOUTH ELEVATION ONTO CLASS ROOM



SIDE (NORTH) ELEVATION



NORTH ELEVATION ONTO KITCHEN AND COATS LOBBY

REV	DATE	BY	REVISION NOTES
A	20/08/25	NFM	Dimensions added.

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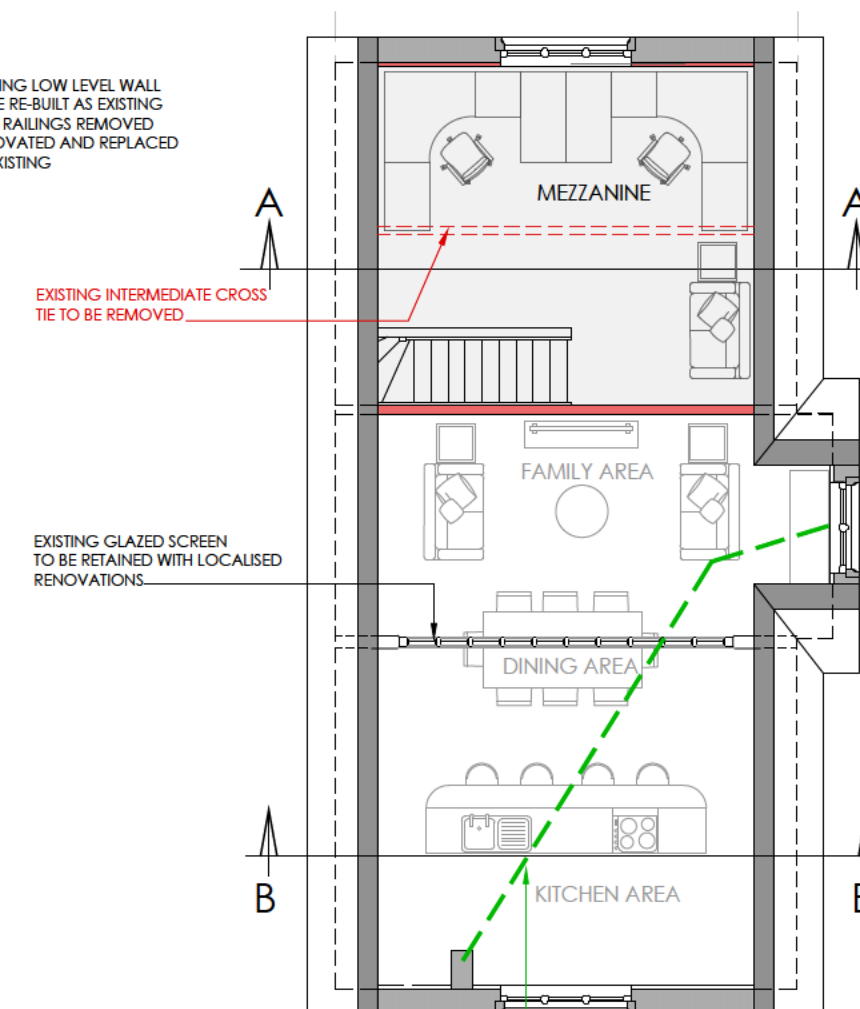
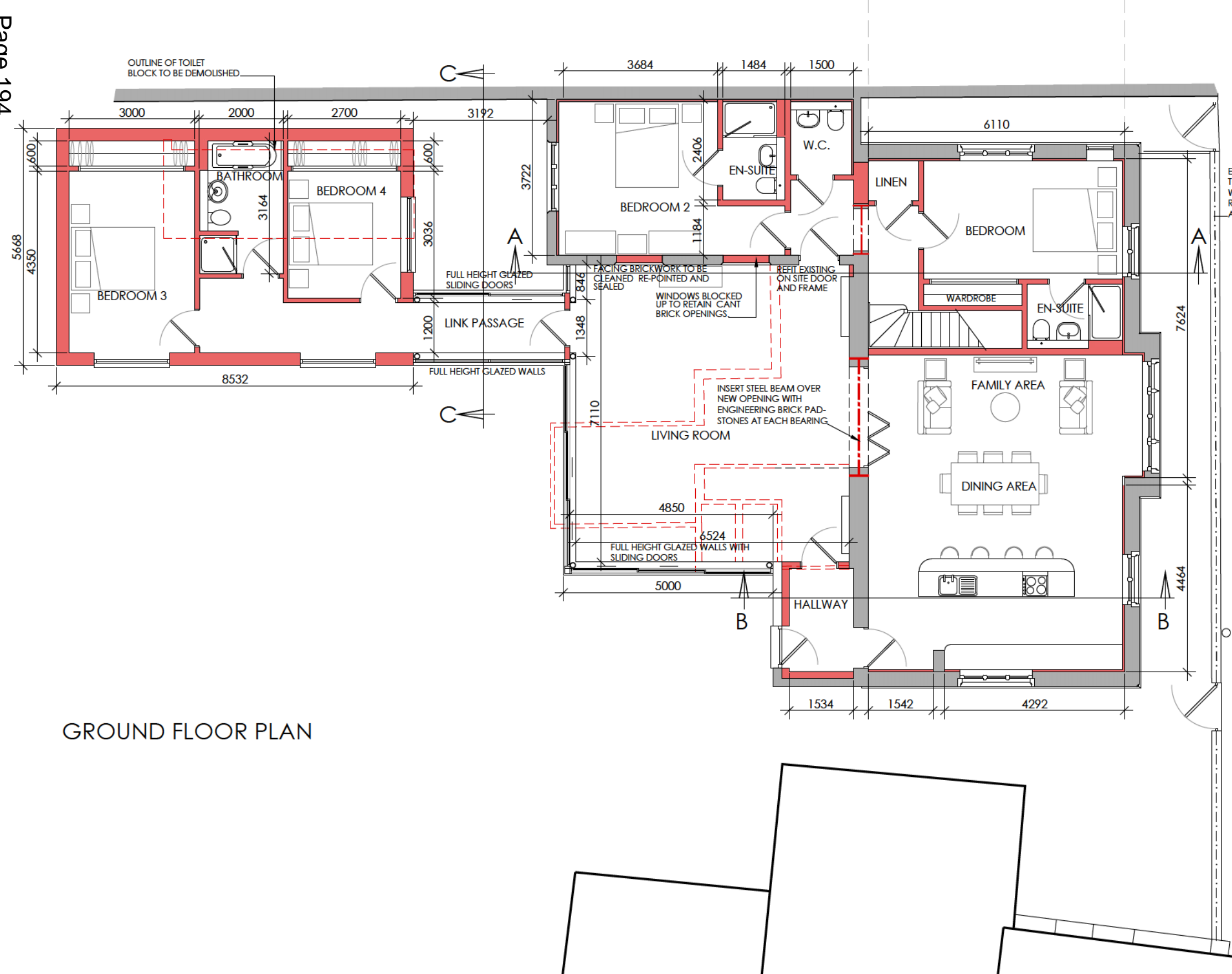
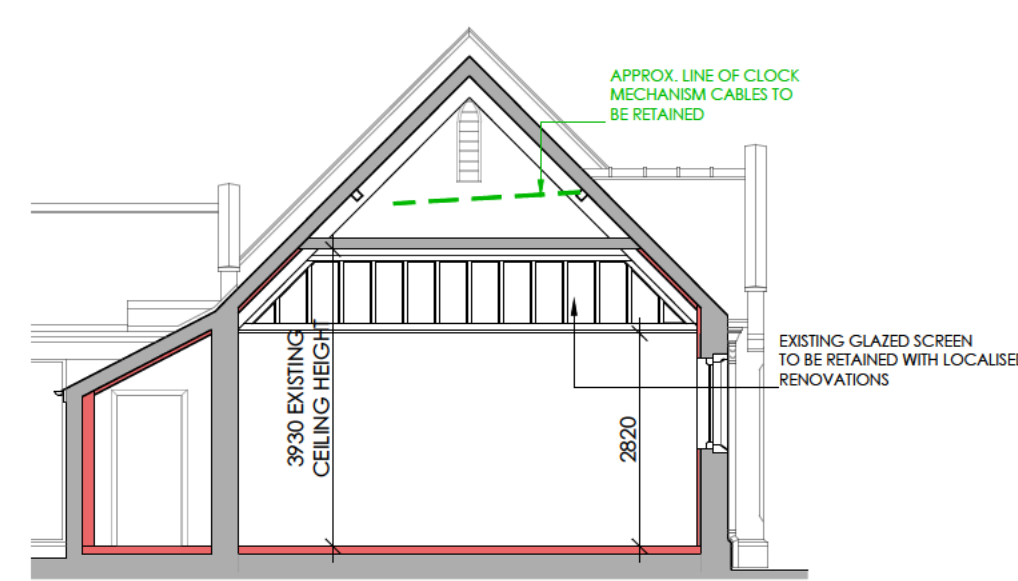
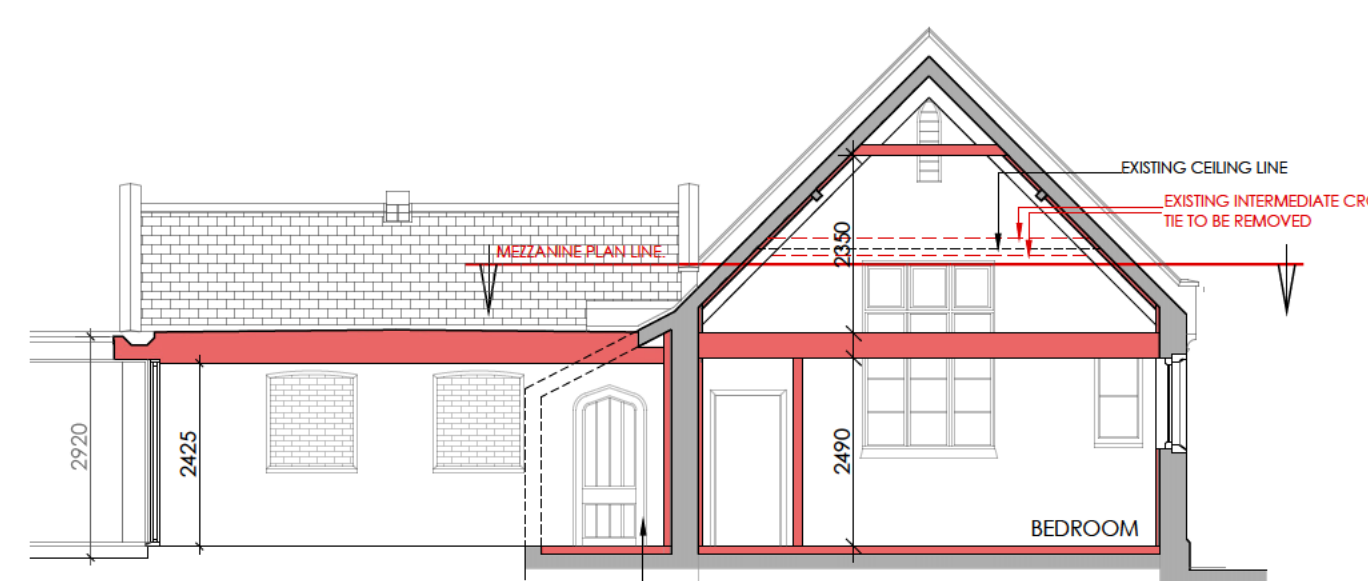
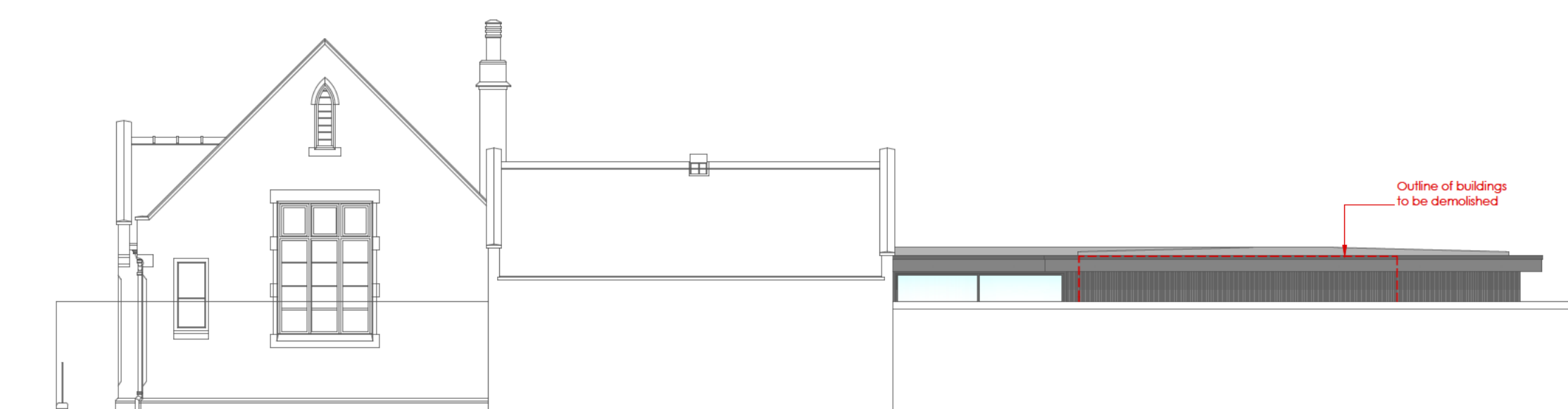
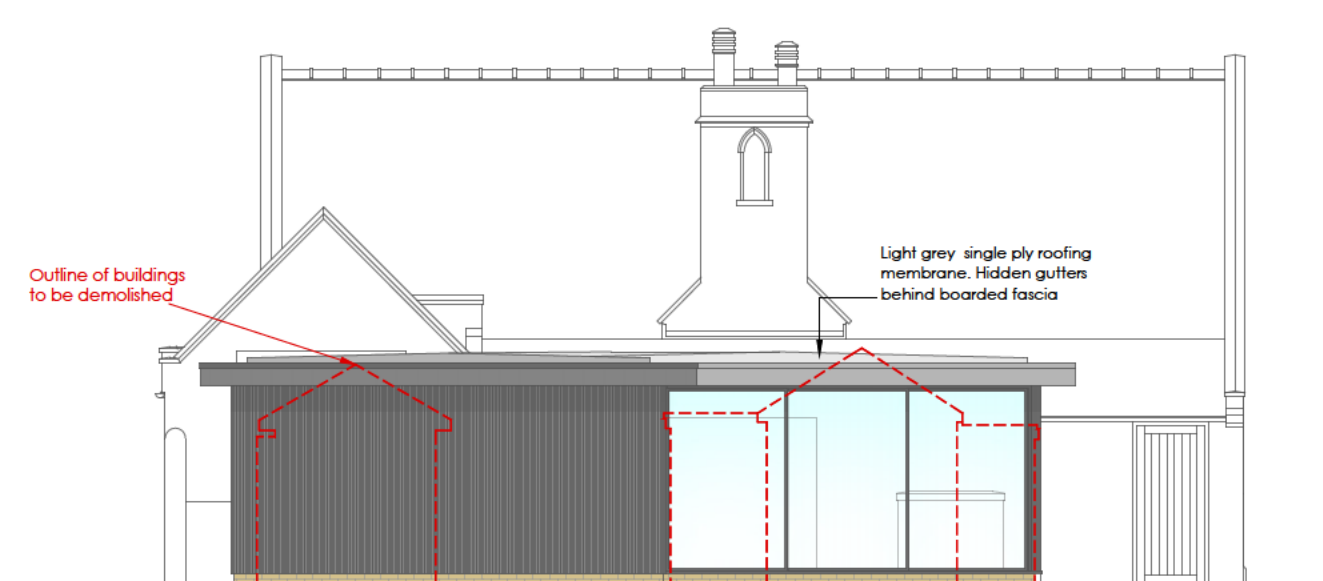
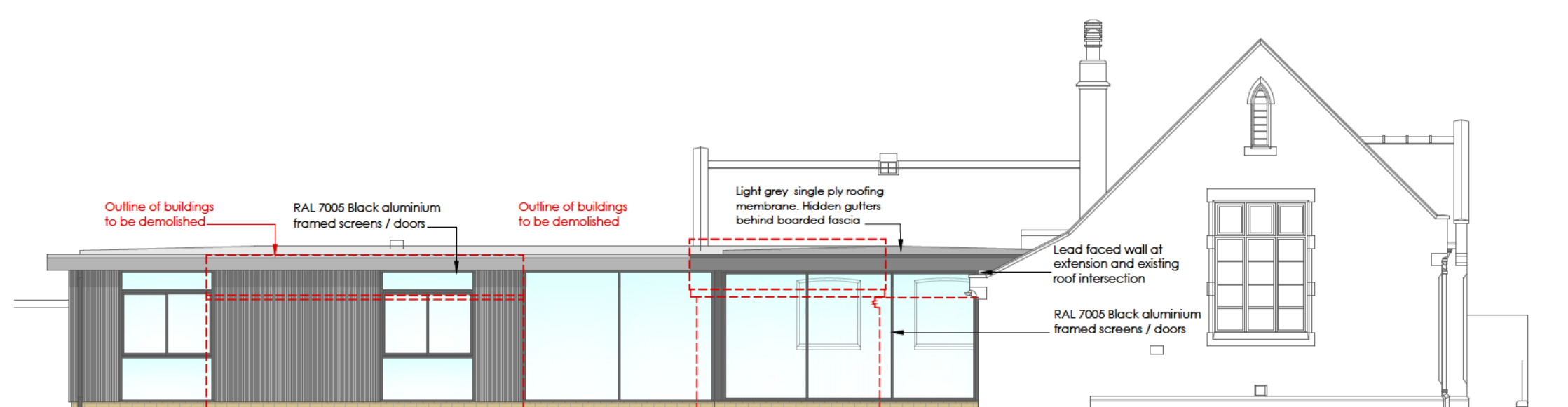
PROJECT
**PROPOSED CHANGE OF USE AND
EXTENSION TO "THE OLD DAY SCHOOL"
HIGH STREET, BLUNTISHAM,
CAMBRIDGESHIRE. PE28 3LD**

CLIENT
MR AND MRS S CLARIDGE

DRAWING TITLE
EXISTING ELEVATIONS

DRAWN BY	SCALE	1:50 @ A1
NFM	0.5 1.0 1.5 2.0 2.5 3.0	

DATE	DWG. No.	REV.
26/06/25	25-20-201	A



LEGEND

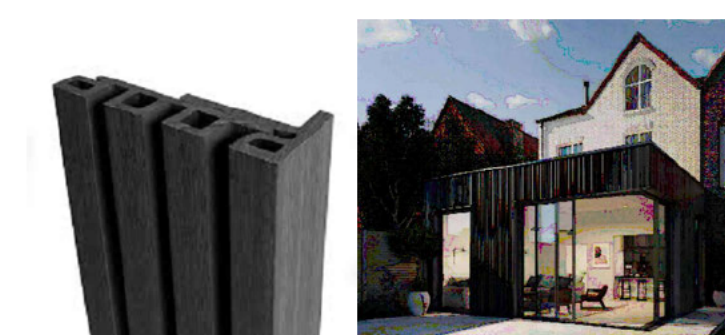
WALLS TO BE REMOVED

EXISTING STRUCTURE (External walls will need lining)

PROPOSED WALLS AND STRUCTURE

OUTLINE OF BUILDINGS SHOWN ON

AREA OF EXISTING CEILING TO BE REMOVED AND
REPLACED AT HIGHER LEVEL OVER MEZZANINE



REV	DATE	BY	REVISION NOTES
B	22/07/25	NFM	Main hall layout and mezzanine revised.
A	16/07/25	NFM	Layout of Bedroom 1 and mezzanine revised

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HIGH STREET, BLUNTISHAM,
CAMBRIDGESHIRE. PE28 3LD

CLIENT
MR AND MRS S CLARIDGE

DRAWING TITLE
PROPOSED FLOOR PLAN, ELEVATIONS
AND SECTION

DRAWN BY NFM	SCALE 1:100 @ A1
DATE 26/06/25	DWG. No. 25-20-202
	REV. B

- 1

RAKE OUT MORTAR AND REMOVE DAMAGED BRICKS. TURN BRICKS TO SHOW INNER FACE AND RE-BED IN LIKE MORTAR
- 2

RE-POINT BRICKWORK IN LIKE MORTAR
- 3

REPAIR CRACK IN STONE CILL USING LIKE MATERIAL
- 4

REMOVE CLAY COPING, CLEAN OF EXISTING MORTAR AND RE-BED WITH LIKE MORTAR. REPLACE DAMAGED WITH LIKE.
- 5

REMOVE CONCRETE COPINGS AND REPLACE WITH CLAY COPINGS TO MATCH MAIN ROOF.
- 6

REMOVE PLASTIC HALF ROUND GUTTERS AND REPLACE WITH BOX GUTTER TO MATCH LEFT WING. REINSTATE TIMBER FEATURES TO MATCH LEFT WING
- 7

REPAIR EXISTING CAST IRON DOWN PIPES
- 8

BREAK OUT EXISTING GULLY, EXPOSE DRAIN AND REPLACE GULLY WITH NEW VERTICAL INLET GULLY TO SUIT.
- 9

REMOVE EXISTING RENDER AND REPLACE WITH THROUGH COLOURED RENDER e.g. MONOCOUCHÉ.
- 10

REMOVE HEATER FLUE AND BRICK UP USING RECLAIMED BRICKS TO MATCH IN WITH EXISTING
- 11

REPLACE EXISTING PLASTIC RAINWATER GOODS WITH BLACK, ALUMINIUM TRADITIONAL PROFILED GUTTERS AND DOWN PIPES.
- 12

SAND DOWN AND REDECORATE EXISTING TIMBER DOOR. MAKE LOCALISED REPAIRS TO FRAME AND WEATHERBOARD.
- 13

RAKE OUT EXISTING MODERN MORTAR AND REPLACE WITH LIKE MORTAR TO MATCH IN WITH EXISTING
- 14

REMOVE WINDOW FRAME AND BRICK UP OPENING USING RECLAIMED BRICKS FROM DEMOUSHED BUILDINGS
- 15

CAREFULLY REMOVE SLATES AND SET ASIDE FOR RE-USE. PROVIDE NEW BREATHABLE ROOFING MEMBRANE AND TIMBER BATTENS AND RE-ROOF.
- 16

REPAIR TIMBER ROOF VOID VENT GRILLS. SAND DOWN AND RE-DECORATE. FIX HEAVY DUTY FLY SCREEN MESH TO INSIDE FACE.
- 17

LOCALISED REPAIRS TO TIMBER CILL, RERPLACE WITH LIKE FOR LIKE
- 18

REMOVE RENDER FROM REVEALS OF NEWLY INSERTED WINDOW. REPAIR BRICKWORK AROUND OPENING
- 19

CAREFULLY REMOVE DOUBLE BULL NOSED ENGINEERING BRICK COPINGS. SET ASIDE FOR RE-USE. REBUILD WALL BELOW USING RECLAIMED BRICK TO MATCH IN WITH EXISTING. HEIGHT TO BE AS EXISTING
- 20

TAKE DOWN STEEL RAILINGS AND REMOVE ALL PAINTWORK. PREPARE FOR RE-DECORATION. RE-INSTATE RAILINGS AS EXISTING USING LIKE FOR LIKE FIXINGS AND BRACKETS
- 21

REMOVE LOW LEVEL PLASTER AND SEAL WALL AGAINST DAMP.
- 22

REMOVE WALL / FLOOR MOUNTED GAS HEATERS
- 23

REPLACE BROKEN GLAZING
- 24

RETAIN LATH AND PLASTER CEILING. MAKE LOCALISED REPAIRS USING LIKE MATERIALS
- 25

RETAIN TIMBER MECHANICAL CLOCK CASING SAND DOWN AND PREPARE FOR RE-DECORATION
- 26

REMOVE DOOR, DOOR FRAME AND SIDE PANELS. EXPOSE ORIGINAL ARCH OPENING AND INSERT NEW FRAME TO TAKE ORIGINAL STORED ARCHED DOOR.
- 27

CAREFULLY REMOVE CAST COAT OF ARMS, CLEAN UP AND REINSTATE ON NEW WALL FINISH TO RIGHT OF NEW OPENING
- 28

RETAIN FIREPLACE PROJECTIONS
- 29

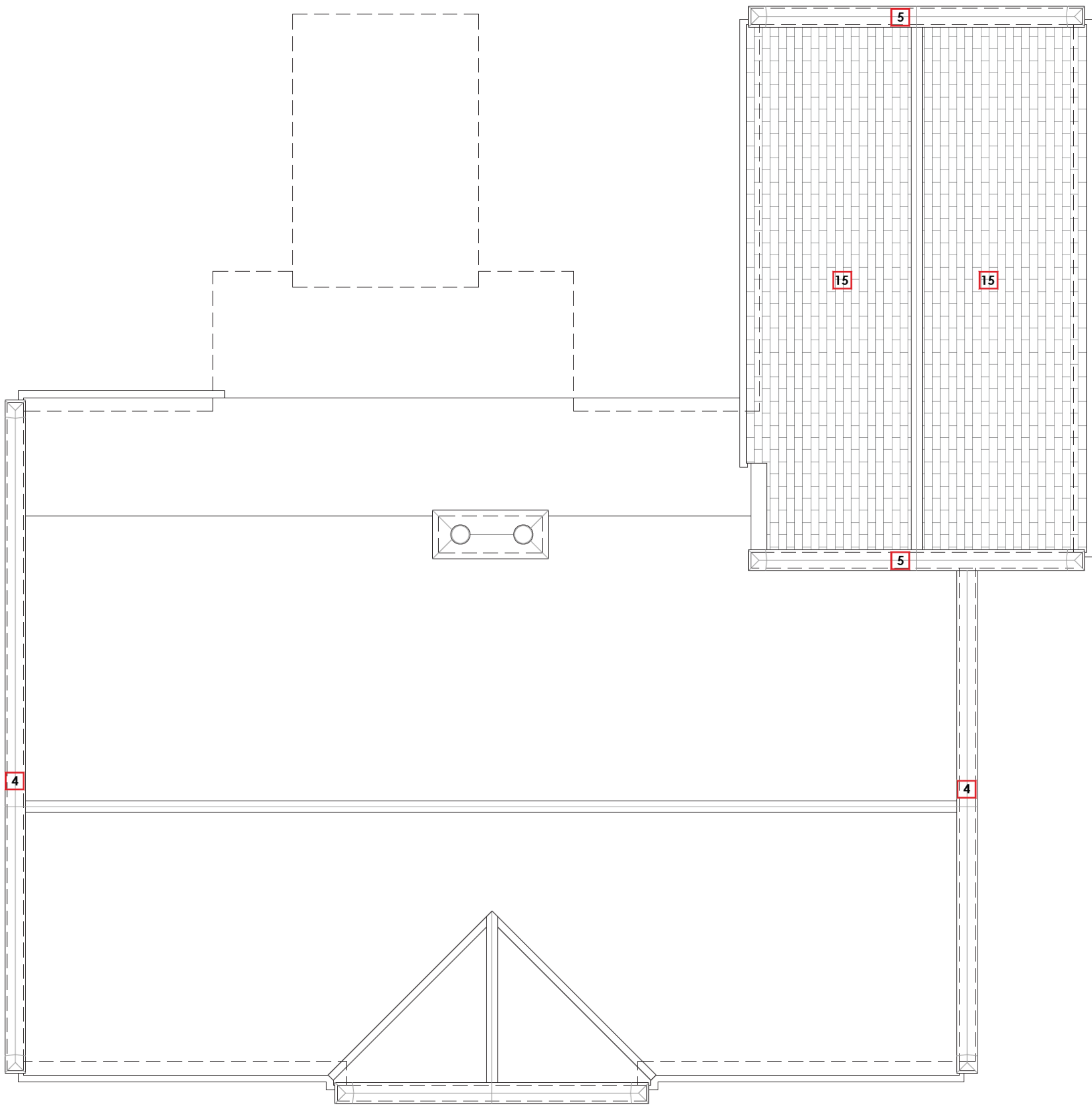
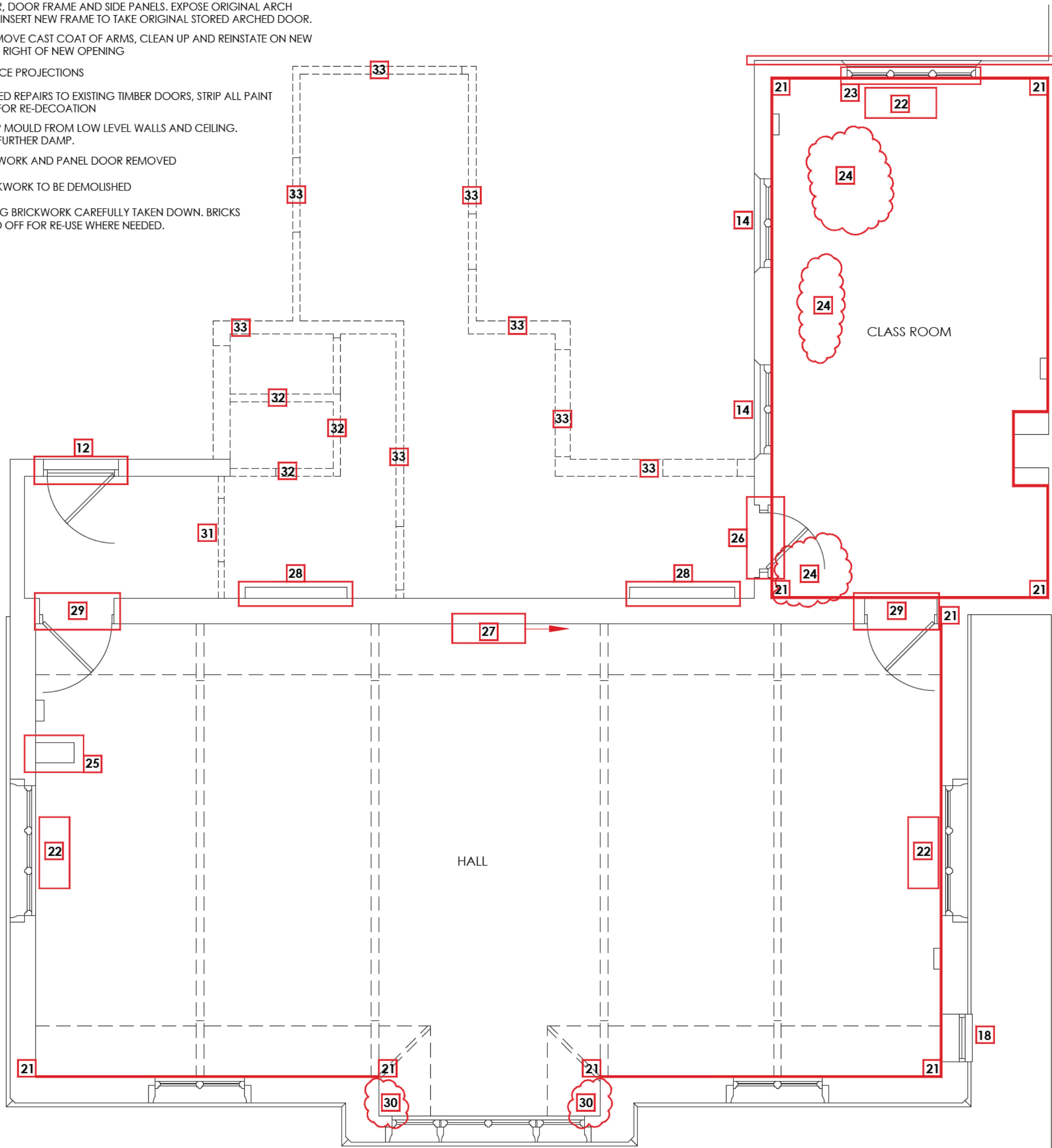
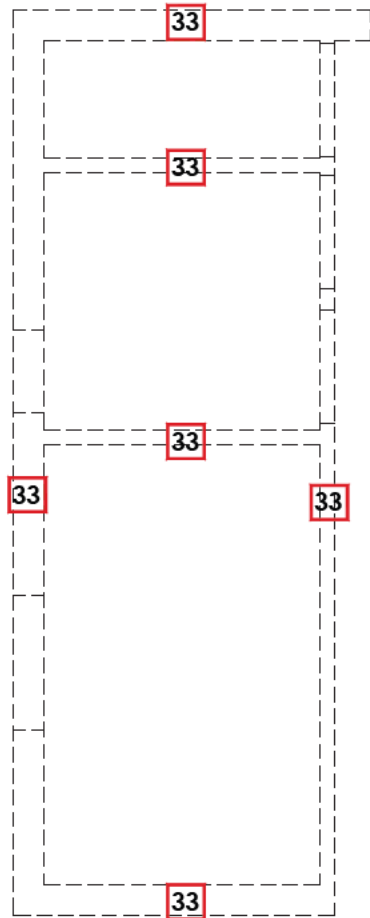
MAKE LOCALISED REPAIRS TO EXISTING TIMBER DOORS, STRIP ALL PAINT AND PREPARE FOR RE-DECOATION
- 30

REMOVE DAMP MOULD FROM LOW LEVEL WALLS AND CEILING. SEAL AGAINST FURTHER DAMP.
- 31

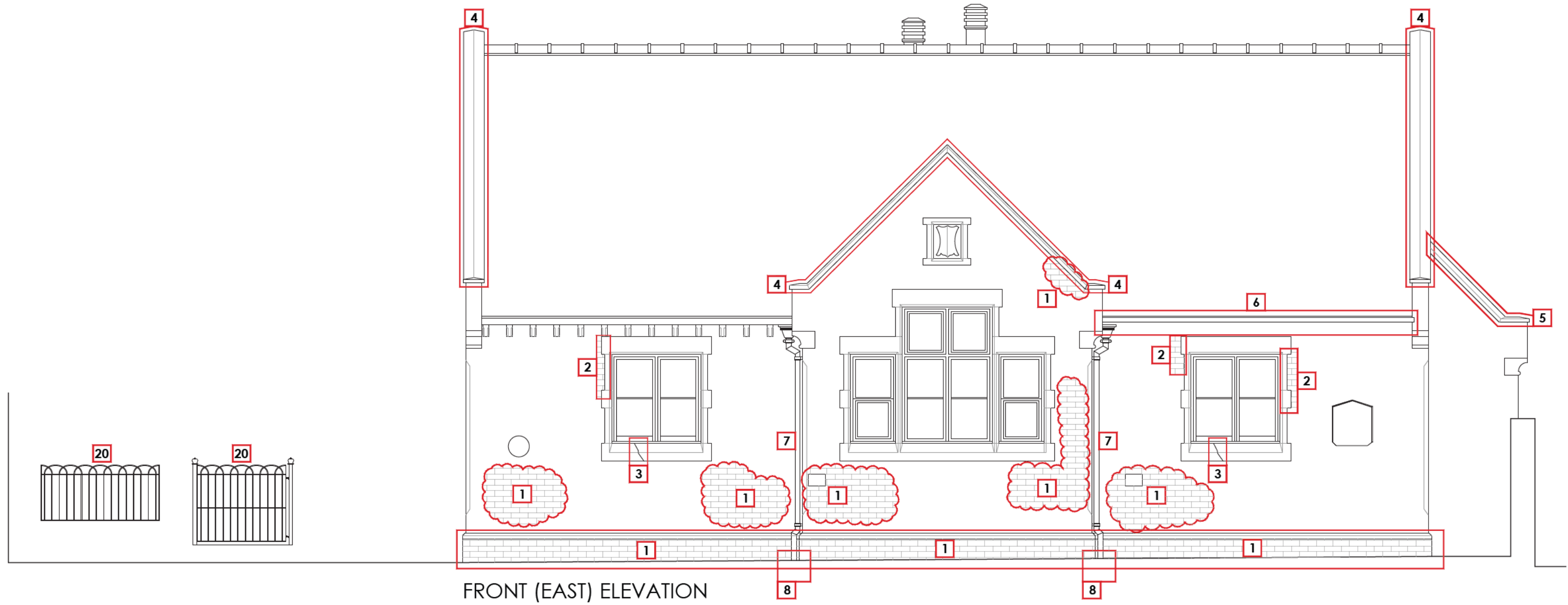
MODERN STUDWORK AND PANEL DOOR REMOVED
- 32

PAINTED BLOCKWORK TO BE DEMOLISHED
- 33

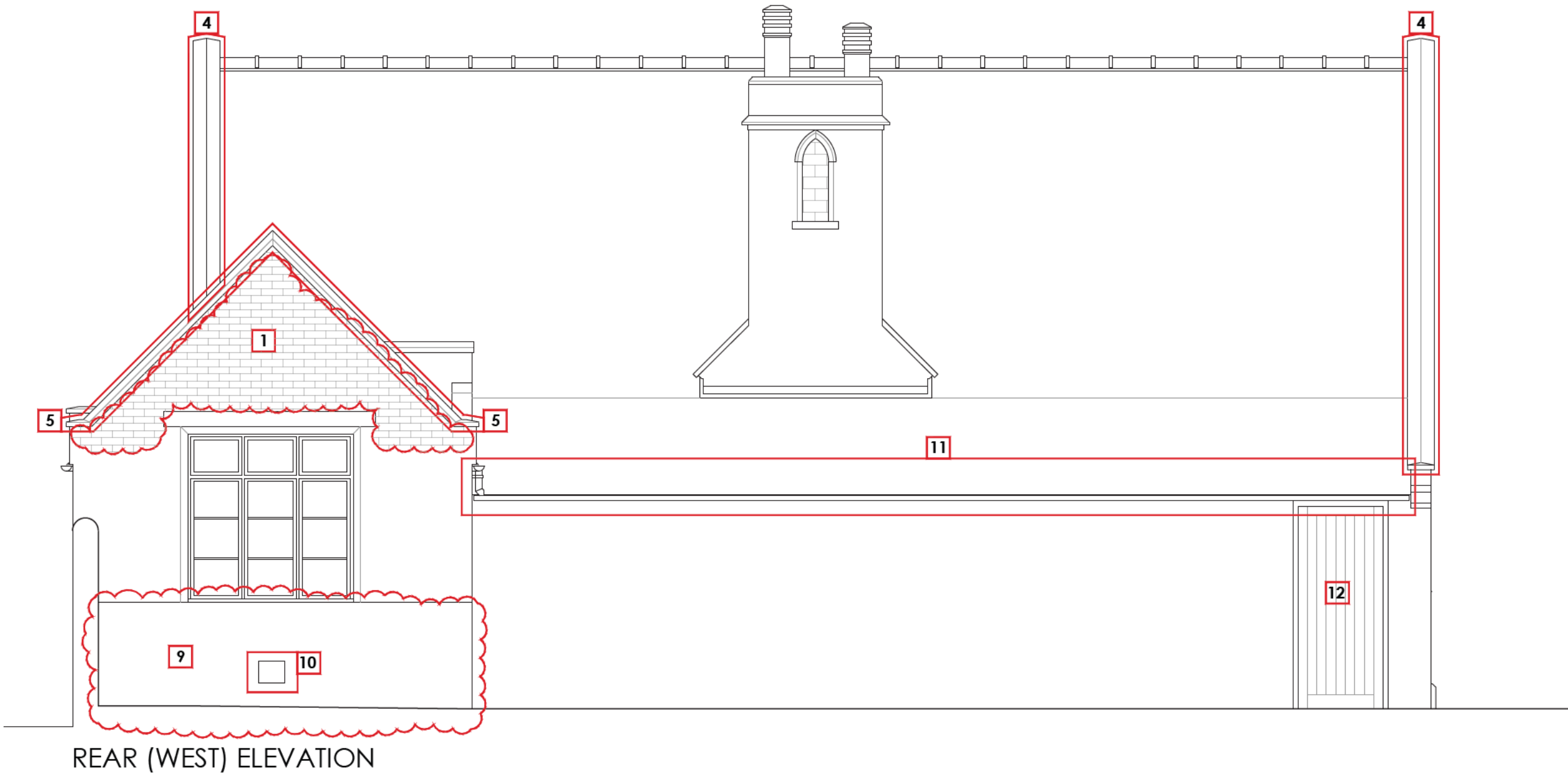
PAINTED FACING BRICKWORK CAREFULLY TAKEN DOWN. BRICKS TO BE CLEANED OFF FOR RE-USE WHERE NEEDED.



REV	DATE	BY	REVISION NOTES
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CLIENT MR AND MRS S CLARIDGE			
DRAWING TITLE RENOVATION DETAILS FLOOR AND ROOF PLAN			
DRAWN BY NFM		SCALE 1:50 @ A1	
DATE 26/06/25		DWG. No. 25-20-203	
		REV.	

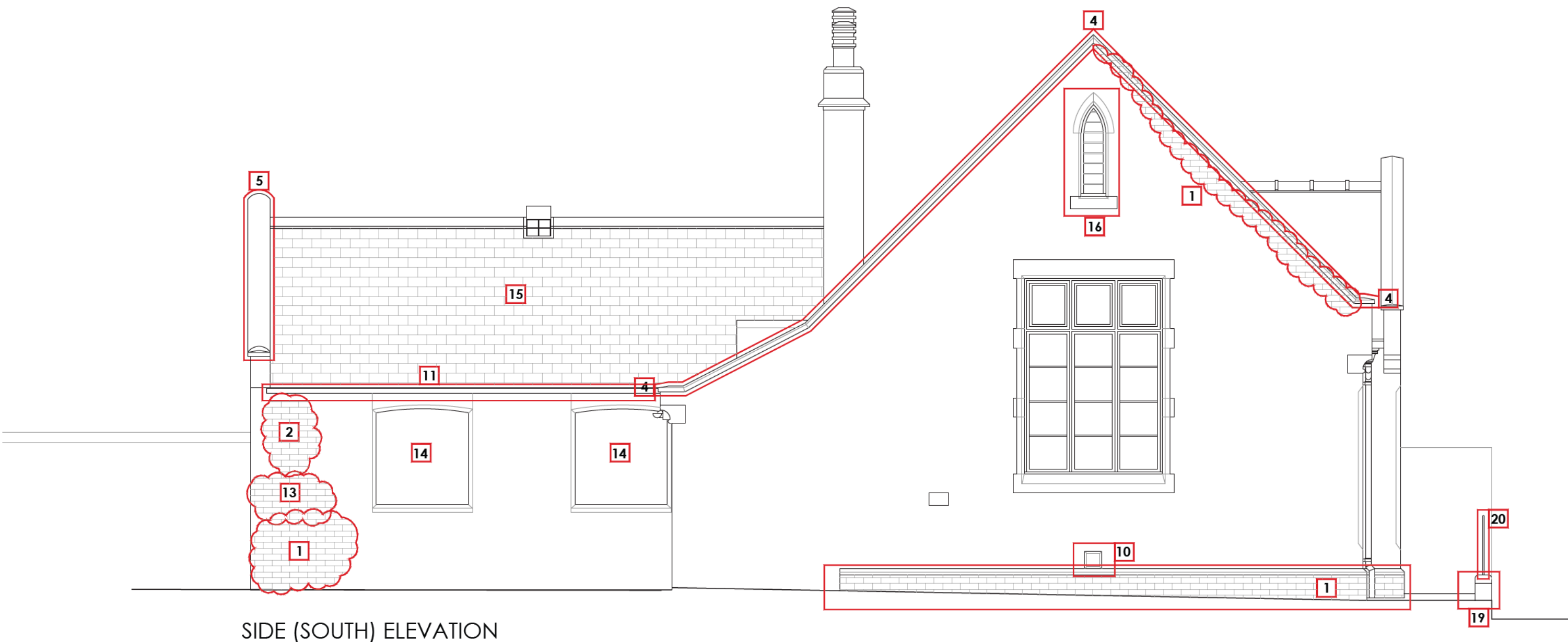


FRONT (EAST) ELEVATION

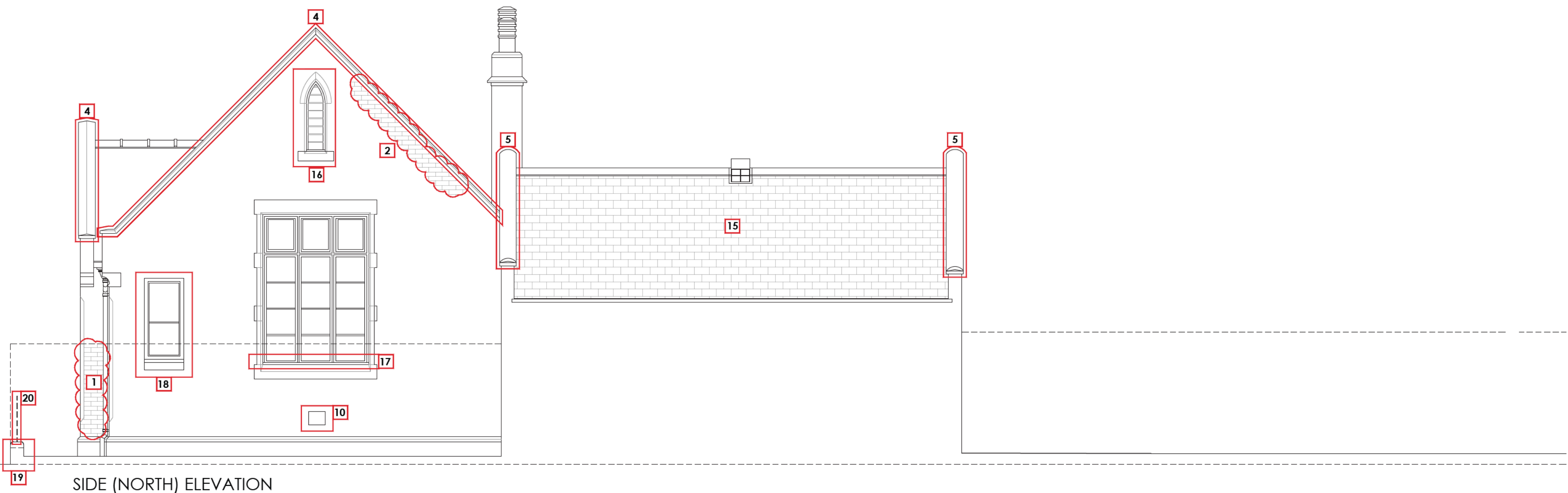


REAR (WEST) ELEVATION

- 1 RAKE OUT MORTAR AND REMOVE DAMAGED BRICKS. TURN BRICKS TO SHOW INNER FACE AND RE-BED IN LIKE MORTAR
- 2 RE-POINT BRICKWORK IN LIKE MORTAR
- 3 REPAIR CRACK IN STONE CILL USING LIKE MATERIAL
- 4 REMOVE CLAY COPING, CLEAN OF EXISTING MORTAR AND RE-BED WITH LIKE MORTAR. REPLACE DAMAGED WITH LIKE.
- 5 REMOVE CONCRETE COPINGS AND REPLACE WITH CLAY COPINGS TO MATCH MAIN ROOF.
- 6 REMOVE PLASTIC HALF ROUND GUTTERS AND REPLACE WITH BOX GUTTER TO MATCH LEFT WING. REINSTATE TIMBER FEATURES TO MATCH LEFT WING
- 7 REPAIR EXISTING CAST IRON DOWN PIPES
- 8 BREAK OUT EXISTING GULLY. EXPOSE DRAIN AND REPLACE GULLY WITH NEW VERTICAL INLET GULLY TO SUIT.
- 9 REMOVE EXISTING RENDER AND REPLACE WITH THROUGH COLOURED RENDER e.g. MONOCOUCHE.
- 10 REMOVE HEATER FLUE AND BRICK UP USING RECLAIMED BRICKS TO MATCH IN WITH EXISTING
- 11 REPLACE EXISTING PLASTIC RAINWATER GOODS WITH BLACK, ALUMINIUM TRADITIONAL PROFILED GUTTERS AND DOWN PIPES.
- 12 SAND DOWN AND REDECORATE EXISTING TIMBER DOOR. MAKE LOCALISED REPAIRS TO FRAME AND WEATHERBOARD.
- 13 RAKE OUT EXISTING MODERN MORTAR AND REPLACE WITH LIME MORTAR TO MATCH IN WITH EXISTING
- 14 REMOVE WINDOW FRAME AND BRICK UP OPENING USING RECLAIMED BRICKS FROM DEMOLISHED BUILDINGS
- 15 CAREFULLY REMOVE SLATES AND SET ASIDE FOR RE-USE. PROVIDE NEW BREATHABLE ROOFING MEMBRANE AND TIMBER BATTENS AND RE-ROOF.
- 16 REPAIR TIMBER ROOF VOID VENT GRILLS. SAND DOWN AND RE-DECORATE FIX HEAVY DUTY FLY SCREEN MESH TO INSIDE FACE.
- 17 LOCALISED REPAIRS TO TIMBER CILL, REPLACE WITH LIKE FOR LIKE
- 18 REMOVE RENDER FROM REVEALS OF NEWLY INSERTED WINDOW. REPAIR BRICKWORK AROUND OPENING
- 19 CAREFULLY REMOVE DOUBLE BULL NOSED ENGINEERING BRICK COPINGS. SET ASIDE FOR RE-USE. REBUILD WALL BELOW USING RECLAIMED BRICK TO MATCH IN WITH EXISTING. HEIGHT TO BE AS EXISTING
- 20 TAKE DOWN STEEL RAILINGS AND REMOVE ALL PAINTWORK. PREPARE FOR RE-DECORATION. RE-INSTATE RAILINGS AS EXISTING USING LIKE FOR LIKE FIXINGS AND BRACKETS



SIDE (SOUTH) ELEVATION



SIDE (NORTH) ELEVATION

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			CLIENT MR AND MRS S CLARIDGE
			DRAWING TITLE RENOVATION DETAILS ELEVATIONS
			DRAWN BY NFM
			SCALE 1:50 @ A1
			DATE 26/06/25
			DWG. No. 25-20-204
			REV.



① 3D View South



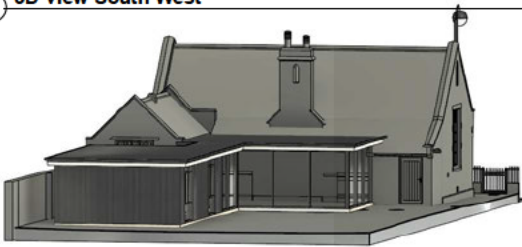
⑥ 3D View North-West



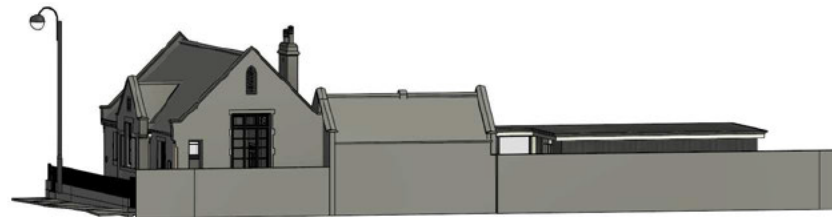
② 3D View South East



③ 3D View South West



④ 3D View West



⑤ 3D View North

GRAPHIC SCALE 1:100			
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PROJECT The Old School House, High Street, Bluntisham, Huntingdon PE28 3LD			
CLIENT Claridge			
DRAWING TITLE Proposed 3D Views			
DRAWN BY Author		SCALE 1:100 @ A1	
DATE 05/28/25		DWG NO. 25-20-207	
		REV	

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DEVELOPMENT MANAGEMENT COMMITTEE 15th December 2025

Case No: 25/00884/FUL

Proposal: Proposed conversion of outbuilding to dwelling

Location: 50 High Street, Brampton, PE28 4TH

Applicant: Mr S Lancaster

Grid Ref: 521000 270951

Date of Registration: 12th June 2025

Parish: Brampton

RECOMMENDATION - REFUSE

This application is referred to the Development Management Committee (DMC) as the Officer's recommendation of refusal is contrary to that of the Parish Council.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 This application seeks approval for the change of use from an outbuilding which was historically a former coach house and stables for 'The Old House' (number 48 High Street), and at the time that the application was submitted associated with No. 50 High Street, Brampton. It should be noted that the submission details some works which do not require planning permission, but which are the subject of the accompanying application for listed building consent (reference no. 25/00885/LBC). This report seeks to separate the planning and listed building consent considerations, but they should be read and understood in conjunction with one another. These applications follow earlier withdrawn applications ref numbers 24/01576/FUL & 24/01577/LBC for the same works. These were withdrawn as Officers considered that there was a lack of detail provided to make a thorough assessment. This situation is not considered to have been remedied under these new submissions.
- 1.2 The building is grade II listed and within the Brampton Conservation Area. There are other grade II listed buildings in the vicinity of the application site. This area of Brampton forms part of the Huntingdon Spatial Planning Area defined under Policy LP7 of the Local Plan to 2036.
- 1.3 This application has been accompanied by the following:

- Design, Access and Heritage Statement;
- Structural Report
- Required location and existing and proposed plans;

During the lifetime of the application, following initial comments from Conservation Officers dated 25th of July 2025 the agent (uninvited by Officers) provided additional information (September 2025) consisting of:

- Helifix repair details;
- Structural calculations package;
- Framing repair plans.

The above documents were reviewed by the Conservation Officer who has confirmed in comments dated the 17th of October 2025 that the details remain insufficient and have not addressed the earlier concerns (this is assessed in further detail in the proceeding sections of the report). Further uninvited details were provided on the 19th of November 2025. The agent has been made aware of the specialists' comments throughout the application and the Officers position of refusal. This latest information has been submitted following advice that this case would be presented at Development Management Committee. Officers consider that they have acted reasonably in advice given throughout this application (and in previous applications) and therefore this latest information (though again not fully addressing the matters required) has not been accepted or been subject to wider consultation.

- 1.4 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (NPPF 2024) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2024 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

- 2.2 The NPPF 2024 sets out the Government's planning policies for (amongst other things):

- delivering a sufficient supply of homes;
- building a strong, competitive economy;
- achieving well-designed, beautiful and safe places;
- conserving and enhancing the natural, built and historic environment

- 2.3 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- LP1: Amount of Development
- LP2: Strategy for Development
- LP4: Contributing to Infrastructure Delivery
- LP5: Flood Risk
- LP6: Waste Water Management
- LP8: Key Service Centres
- LP11: Design Context
- LP12: Design Implementation
- LP14: Amenity
- LP15: Surface Water
- LP16: Sustainable Travel
- LP17: Parking Provision and Vehicle Movement
- LP25: Housing Mix
- LP30: Biodiversity and Geodiversity
- LP31: Trees, Woodland, Hedges and Hedgerows
- LP34: Heritage Assets and their Settings
- LP37: Ground Contamination and Groundwater Pollution

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Strategic Flood Risk Assessment (2024)
- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Developer Contributions SPD 2011
- Huntingdonshire Landscape and Townscape SPD (2022)
- Cambridgeshire Flood and Water SPD 2017
- Annual Monitoring Review regarding housing land supply (2024)

Local policies are viewable at <https://www.huntingdonshire.gov.uk>

3.3 The National Design Guide (2021):

- C1 - Understand and relate well to the site, its local and wider context
- C2 – Value heritage, local history and culture
- I1 - Respond to existing local character and identity
- I2 - Well-designed, high quality and attractive
- M3 - Well-considered parking, servicing and utilities infrastructure for all users
- N3 - Support rich and varied biodiversity

- H1 - Healthy, comfortable and safe internal and external environment
- H2 - Well-related to external amenity and public spaces
- H3 - Attention to detail: storage, waste, servicing and utilities.

For full details visit the government website

4. RELEVANT PLANNING HISTORY

- 4.1 24/01576/FUL - Proposed conversion of an outbuilding into dwelling (Withdrawn)
- 4.2 24/01577/LBC - Proposed conversion of an outbuilding into dwelling (Withdrawn)
- 4.3 25/00885/LBC - Listed Building Consent for proposed conversion of outbuilding to dwelling (Pending Consideration – associated with this application and reported to this committee)

5. CONSULTATIONS

- 5.1 Brampton Parish Council recommend approval but raise concerns regarding parking.
- 5.2 HDC Conservation Team – Objection – proposal fails to justify that it would preserve the listed building and its setting and do not have regard to the preservation of the Brampton Conservation Area.
- 5.3 HDC Urban Design Team – No objections in terms of design. Details of some matters would need to be secured by condition.
- 5.4 HDC Operations (Waste) Team – No representations received at the time of determination.
- 5.5 HDC Arboricultural Officer – No representations received at the time of determination.
- 5.6 HDC Environmental Health Team – No objections – further details in the proceeding sections of this report.
- 5.7 CCC Highways – No objections – LPA to consider if there will be any amenity impacts due to no parking provision.

6. REPRESENTATIONS

- 6.1 None received at the time of determination.

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 48 of the NPPF (2024). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan (relevant to this application) consists of:
- Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider in the determination of this application are:
- The Principle of Development
 - Design and Visual Amenity
 - Impact on Heritage Assets
 - Residential Amenity
 - Highway Safety and Parking Provision
 - Flood Risk and Surface Water
 - Biodiversity
 - Impact on Trees
 - Other Matters

The Principle of Development

Housing Land Supply

- 7.6 This report should be read with the knowledge that the NPPF paragraph 78 requires the Council to identify and update annually a supply of specific deliverable sites sufficient to provide a minimum of five years' worth of housing against our housing requirement. A substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements was introduced on 12th December 2024 in the revised NPPF and associated NPPG (the standard method).
- 7.7 As Huntingdonshire's Local Plan to 2036 is now over 5 years old it is necessary to demonstrate a five-year housing land supply (5YHLS) based on the housing requirement set using the standard method. NPPF paragraph 78 also requires provision of a buffer to ensure choice and competition in the market for land. As Huntingdonshire has successfully exceeded the requirements of the Housing Delivery Test a 5% buffer is required here. The 5-year housing land requirement including a 5% buffer is 5,586 homes. The current 5YHLS is 4, 345 homes equivalent to 3.68 years' supply.
- 7.8 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'. While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications. It should be acknowledged that tilted balance is not applied in terms of the weight given to heritage harm, (Policy LP34 in the adopted Local Plan). This information is included for completeness but for the reasons set out above, tilted balance does not apply to this determination and so reduced weight cannot be afforded to the heritage harm.

Principle of development

- 7.9 Policy LP2 of the Huntingdonshire Local Plan to 2036 (the Local Plan) sets out the overarching development strategy for Huntingdonshire through the plan period. The main objectives are:
- Concentrate development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities;
 - Direct substantial new development to two strategic expansion locations of sufficient scale to form successful, functioning new communities

- Provide opportunities for communities to achieve local development aspirations for housing, employment, commercial or community related schemes
 - Support a thriving rural economy;
 - Protect the character of existing settlements and recognise the intrinsic character and beauty of the surrounding countryside;
 - Conserve and enhance the historic environment; and
 - Provide complementary green infrastructure enhancement and provision to balance recreational and biodiversity needs and to support climate change adaptation.
- 7.10 Policy LP2 directs approximately a quarter of the objectively assessed need for housing (together with a limited amount of employment growth) to sites dispersed across the Key Service Centres and Small Settlements in order to support the vitality of these communities and provide flexibility and diversity in the housing supply. In addition, rural exception, small and windfall sites will be permitted on sites which are in conformity with other policies of the plan, thereby providing further flexibility in the housing supply.
- 7.11 Policy LP2 is within the Development Strategy chapter of Huntingdonshire's Local Plan to 2036 and is therefore considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications for residential development. Notwithstanding this, weight should still be given to Policy LP2 given that it directs development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities which is consistent with the NPPF.
- 7.12 The site is located within the built-up area of Brampton which falls within the Huntingdon Spatial Planning Area defined under Policy LP7 of the Local Plan to 2036. LP7 supports housing development (class C3) where it is appropriately located within a built-up area of an identified spatial planning area settlement. As such, given its siting, the fact that the building already exists and its minor scale, the development is considered to be acceptable in principle subject to compliance with all other materials planning considerations (including impact on heritage assets) and conditions.

Impact on heritage assets

- 7.13 The building is grade II listed and located within the Brampton Conservation Area and makes a positive contribution to the Conservation Area. It reflects the history of the area and its association with The Old House (48 High Street) which is also grade II listed.

- 7.14 Section 72 of the Planning (LBCA) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

Section 66 of the Planning (LBCA) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Para. 212 of the NPPF sets out that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'.

Para. 213 states that 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'

Section 16(2) of the Planning (LBCA) Act 1990 (as amended) requires special regard to be had to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

- 7.15 High Street is an extensive road through Brampton and hosts mainly residential development with dwellings of varying age, scale and design along its length. It does have a traditional character with more examples of historic development than modern. There are a number of listed buildings along its length with several grade II listed buildings (No's 91, 87, 48 and 44 High Street) in the immediate vicinity.

The building subject to this application is located directly on the High Street frontage to the north-west of The Old House (No.48) and south-east of No.50 which is a detached bungalow which is set back in its plot in relation to the building and has recently undergone conversion. It is a two-storey, detached structure which architecturally retains the qualities of the handmade brickwork and its solidity. That said, there are patters plates and a tie in place and evidence of some structural movement.

Previous applications under reference numbers 24/01576/FUL and 24/01577/LBC which sought permission for a similar development were withdrawn following engagement with Officers due to heritage concerns. In the intervening period, the Council's Conservation Officer has visited the site to offer advice. This application must be assessed upon its own merits but, for the

reasons set out below does not address the concerns of the previous applications. Insufficient detail has been provided in order for a thorough assessment to be completed. It is clear that additional works to successfully facilitate a residential conversion will be required and in the absence of this information (and based upon the works proposed which also lack specific detail) it would be harmful to both the listed building and the Conservation Area.

7.16 This application proposes the change of use of the building to a residential dwelling. Internal alterations do not require planning permission but do require listed building consent and so will be a subject of the separate 25/00885/LBC application. The application is accompanied by a Design, Access and Heritage Statement and HDC's Conservation Team have been consulted.

7.17 Conservation Officers object to the scheme with overriding concerns summarised as:

- The submitted structural report recommended brickwork repairs using the Helifix system – there is no indication on the drawings as to where the bars will be inserted or to the extent of the repairs and impact on the exterior of the building.
- Rainwater goods – inspect and overhaul gutters, downpipes and underground drainage. No gutters or details of proposed guttering or downpipes have been provided. The drawings show no downpipes so there is no indication as to where water will be discharged or their appearance or material finish.
- External walls and ties – the additional information submitted in September 2025 was a partial re-submission of an inadequate document which was previously submitted. It still fails to provide specific details as to which of the 4 Helifix products detailed will be used and these do not appear to be applicable for the issues that this building is experiencing. No details as to where the 'stitching of cracks' has been provided.
- No schedule of works has been submitted with the application. There are numerous omissions in relation to internal works (a consideration of the listed building consent application) but, as well as works detailed above (which could impact the exterior of the building and therefore require planning permission) additional exterior works to bring the building to a habitable standard and to comply with building regulations such as those detailed below could be required. These details have not been confirmed:

- Installation of new windows and doors.
- Location of soil vent pipe to W.C and bathroom (external vent pipe would not be supported).
- No details as to if re-roofing will be required.
- No details of brickwork repairs. Extent of these and how these will be conducted (schedule of works/methodology).

7.18 Whilst some of the works and potential works (required to bring the building to a habitable standard) may constitute householder permitted development by virtue of Schedule 2, Part 1, Class A, of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) it is important to note that this does not apply in this case as the building is not presently a dwelling and therefore does not enjoy householder permitted development rights. In the event that the applicant tried to exercise permitted development rights under the above Schedule but within Class E, (improvements to buildings incidental to the enjoyment of a dwellinghouse) it would also fail to comply due to (amongst other matters) its listing and the fact that it is forward of the principal elevation of the dwellinghouse. Whilst it is not suggested that the applicant is attempting to exercise permitted development rights it is important to note this so that it is clear to Members as to why planning permission is required for such works.

7.19 Overall, whilst Conservation Officers recognise that there is some scope for alteration, the submission as presented is wholly inadequate to assess the impacts of the works proposed on the listed building and Conservation Area and for that reason there is not sufficient justification to demonstrate that they preserve the listed building or its setting. Furthermore, they also fail to demonstrate that they have regard to the preservation and enhancement of the Brampton Conservation Area. Overall there would be a medium level of less than substantial harm to the listed building and a low level of less than substantial harm to the Conservation Area.

7.20 Based upon the extent of the proposals and lack of information provided with the application (as set out in the preceding sections of this report) alongside the advice of specialists, Officers conclude that the works would be contrary to Policies LP2 and LP34 of the Huntingdonshire Local Plan to 2036, the Planning (Listed Buildings and Conservation Areas) Act (1990), the provisions of the NPPF (2024) and part C2 of the National Design Guide (2021)

Design and visual amenity

- 7.21 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the area's character and identity and successfully integrates with adjoining buildings and landscape. This is also reflected in Section 12 of the National Planning Policy Framework (2024).
- 7.22 In this case, based only upon the plans as presented, there is nothing to indicate that the exterior of the building will be significantly altered. Whilst in heritage terms (as outlined above) the lack of detail is an issue, in planning terms (and as advised by Urban Design Officers), some details can be secured by condition. For this reason, there is no reason to consider that should Members choose to grant planning permission the development could not be realised in accordance with these Policies.

Residential Amenity

- 7.23 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.24 Given that there is no increase in footprint or scale, there are no concerns with regard to overbearing impacts, overshadowing or loss of light.
- 7.25 In terms of overlooking and loss of privacy there are no additional window or door openings proposed. The first floor opening to the front elevation will be glazed but this looks towards the High Street. There is a 15m separation to the dwelling opposite (No.89 High Street) and the relationship between the buildings would not differ from others in the High Street. All other doors/windows are at ground level and therefore will not cause harm.
- 7.26 In terms of impacts on the occupants of the dwelling itself, its internal space (including the bedroom space) accords with the guidance set out within the Technical housing standards – nationally described space standard document and is considered satisfactory. However, Officers do have some concerns regarding the level of natural light which would be afforded to the main living/kitchen area of the dwelling. The plans as presented retain the existing openings to the rear elevation, this means that there are two windows adjacent to one another in the kitchen wall (a north-east facing elevation). These glazed section of these windows measure 30cm high by 20cm wide. Some light

may be afforded to this area via the hall (the main door appears to be glazed) but there is a separation distance of approx. 2.8m between the main door and the internal door providing access to the living area in question. Therefore, in practice the level of light provided by this is likely to be minimal. Judgement on what is perceived to be adequate light falls to the Local Planning Authority to consider and in this instance, Officers suggest that these two north-east facing windows which cumulatively provide a glazed area of approx. 0.14m² serving a habitable space of approx. 50m² is insufficient and would not provide a high degree of residential amenity to the occupants of the dwelling who would very likely be reliant on artificial means of lighting, heating and ventilation. There is less concern with the bedroom window which is larger (approx. 0.27m²), is elevated and faces a south-westerly direction. Officers acknowledge that given the heritage considerations that there are limitations to enhancements but remain of the view that some attempts to better this situation could have been made. At present it is considered that the development would fail Policy LP14 (part a) of the Local Plan to 2036, Para.135 (f) of the NPPF (2024) and Part H1 of the National Design Guide (2021).

- 7.27 In terms of outdoor space, whilst the provision is limited, some degree of defensible space is provided. No details of hard and soft landscaping have been provided on plan (these could be secured by condition should Members choose to grant planning permission) and the measures for making this a private space could be dealt with at this stage. Notwithstanding this consideration, the site is located within the built-up area of a Spatial Planning Area with options for hospitality, leisure and recreation within easy walking distance of the site. As such, given the scale of the development proposed this is considered to be acceptable.
- 7.28 HDC's Environmental Health Team have been consulted and have not raised any objections in terms of noise, odour, air quality, obtrusive light or contaminated land.
- 7.29 Overall, taking the above assessment into consideration, the development would fail to provide a future occupant with a high level of residential amenity as an adequate degree of natural light is not provided to all habitable rooms of the dwelling. It therefore conflicts with Policy LP14 (part a) of the Huntingdonshire Local Plan to 2036, Para.135 (f) of the NPPF (2024) and Part H1 of the National Design Guide (2021).

Highway Safety, access and Parking Provision

- 7.30 Policies LP16 and LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles

and service vehicles and incorporates adequate parking for vehicles and cycles.

- 7.31 The constraints of the site limit the provision of off-street parking for motor vehicles and none is intended as part of this scheme. Cambridgeshire County Council as the Local Highway Authority have been consulted and raise no objection in terms of highway safety. They do suggest that the LPA should consider if there would be any negative residential amenity impacts arising from the lack of parking and Officers have considered this carefully. Furthermore, whilst Brampton Parish Council support overall they do raise concerns on the lack of parking provision.
- 7.32 High Street appears to have some restrictions in place which limit on-street parking at various points along its length, but unrestricted parking is also available. Some of the dwellings benefit from off-street parking but, given the historic character this is not the case for every property and so on street parking is not uncharacteristic of the locality. Whilst the provision of a single dwelling will likely result in the need for on-street parking it is not considered that the degree of intensification (a one-bedroom dwelling) would render the development unacceptable particularly when the sustainability of the location is considered. A refusal solely on this basis would be challenging to sustain given the established character and existing parking taking place on unrestricted areas of the High Street.
- 7.33 Officers note that no cycle storage is shown on the block plan. Policy requirements dictate that one cycle space per bedroom should be provided with the Huntingdonshire Design Guide recommending secure covered storage and Officers are satisfied that there is space within the site for this provision to be achieved. Should Members choose to grant planning permission it would be considered prudent to secure specific details by condition.
- 7.34 Overall, Officers are satisfied that the development would not create any unacceptable residential amenity issues (in terms of parking), would not create any significant highway safety issues and would be acceptable with regard to its approach to sustainable travel in accordance with Policies LP14, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Flood Risk and Surface Water

- 7.35 The site is at the lowest risk of flooding according to the Environment Agency Flood Map for Planning (Flood Zone 1) and has no risk of flooding from other sources. Development of this nature is acceptable in Flood Zone 1 and does not require the application of the Sequential or Exception Tests as per the NPPF (2024). Given the lack of surface water flood risk and lack of any

proposed built development it is not considered that there would be significant surface water run off impacts.

- 7.36 Further to the above consideration, Officers are satisfied that full details of the proposed surface and foul water drainage can be secured as part of building regulations and other relevant legislative requirements in this instance.
- 7.37 As such, the proposal is considered to be acceptable with regard to its impact on flood risk, surface water and wastewater management therefore accords with Policies LP5, LP6 and LP15 of Huntingdonshire's Local Plan to 2036.

Biodiversity

- 7.38 Policy LP30 of the Local Plan requires a development to ensure no net loss of biodiversity and achieve a net gain where possible. As well as this (and separate from the requirements of LP30) qualifying new development is subject to Biodiversity Net Gain legislation pursuant to the Environment Act 2021. This means that a 10% statutory Biodiversity Net Gain (BNG) is required, following the hierarchy of onsite provision; mixture of on-site and off-site provision; and the last resort of statutory biodiversity credits unless it can be demonstrated that the development would be exempt.
- 7.39 In considering the above, it is noted that the application form details that the scheme is considered to be exempt as it relates to an existing building. Whilst in this case it is acknowledged that there are instances where a change of use (impacting less than 25m² of habitat) would be exempt, in this case the proposal (as per the location and block plan) includes outdoor space. No details as to the present condition of this land has been provided (e.g. if it is vegetated garden or hard surfacing which could provide some ecology value). At the time of the site visit, whilst there appeared to be some storage (in relation to the works being completed to No. 50) taking place, there was some ground coverage and some shrub planting to the rear. As such, Officers consider that an assessment as to the baseline biodiversity value of the site and any required BNG measures should have been provided).
- 7.40 Further to the above, in considering other matters in relation to habitat loss, the submitted Biodiversity Checklist specifically asks if the proposed development would constitute or include the modification, conversion, demolition or removal of any part of a building/structure (especially roof voids) including (amongst other matters) pre-1914 building with gable ends or slate roofs regardless of their location. Both of these apply to this building. The agent has answered no to this question in the checklist. The guidance contained within the checklist details that if the answer to any of these queries is yes, then the application should be

accompanied by a Preliminary Ecological Appraisal. No such information has been provided. As this is the case, Officers cannot guarantee that the building does not support important or legally protected species. The absence of this information means that there is no knowledge as to if any specific mitigation measures or licensing is required in order for the development to proceed. Such matters must be dealt with at the planning application stages and cannot be addressed by condition.

- 7.41 Overall, having regard to the above, Officers cannot be satisfied that the development would be exempt from Biodiversity Net Gain Legislation as set out within Schedule 7A of the Town and Country Planning Act 1990 (as inserted by Schedule 14 of the Environment Act 2021), and would not have an impact on any protected or important species. It would therefore conflict with the above legislation, Policy LP30 of the Huntingdonshire Local Plan to 2036, the provisions of Para.192 (b) of the NPPF (2024) and Part N3 of the National Design Guide (2021).

Impact on Trees

- 7.42 As detailed in the preceding sections of this report, the site lies within the Brampton Conservation Area. As such, whilst there are no specific Tree Preservation Orders in force, trees within the locality are afforded protection by virtue of their location within the Conservation Area.
- 7.43 Officers note that no arboricultural details have been provided as part of this scheme, however, under the withdrawn application (24/01576/FUL) for the same applicant and same development details were provided and were reviewed by HDC's Arboricultural Officer who raised no objections to the scheme. There are no trees on site (but those detailed were within the blue line land). The Arboricultural Officer considered that the trees in the vicinity (outside of the red line) were generally poor in appearance and had low levels of public a visual amenity and considered that subject to compliance with the submitted Tree Protection Plan the development could proceed in accordance with Policy LP31 of the Local Plan to 2036.
- 7.44 In this case, whilst no comments have been received by the Arboricultural Officer for this scheme, given the similarities, lack of objection and consideration as to the value of the trees in what is a relatively recent application Officers do not raise an objection with regard to impact on trees. It is understood that since the application was submitted there may be a change of ownership of the land within the blue line (which would make achieving the replacement planting intended under the 24/01576/FUL challenging) but are broadly satisfied that some reasonable replacement planting could be secured by a landscaping condition should Members choose to grant planning permission.

- 7.45 Overall, having regard to the above assessment, Officers are satisfied that the development would accord with Policy LP31 of the Huntingdonshire Local Plan to 2036.

Accessible and Adaptable Dwellings

- 7.46 Policy LP25 of the Huntingdonshire's Local Plan to 2036 states that proposals for new housing will be supported where they meet the optional Building regulation requirement M4(2) 'accessible and adaptable dwellings' unless it can be demonstrated that site specific factors make this impractical or unviable.
- 7.47 In this case, given the constraints presented in the conversion of an existing building (not least one of heritage value) it is considered that it would be challenging to achieve this compliance. (For example, the lack of parking is a factor). Therefore, Officers consider that should Members choose to grant planning permission that it would be unreasonable to impose this condition.

Water Efficiency

- 7.48 Policy LP12 (j) of the Local Plan to 2036 states that new dwellings must comply with the optional Building Regulation requirement for water efficiency set out in Approved Document G of the Building Regulations. Should Members choose to grant planning permission a condition is recommended to be attached to ensure compliance with the above, in accordance with Policy LP12 (j) of Huntingdonshire's Local Plan to 2036.

Development Obligations

Bins

- 7.49 Part H of the Developer Contributions SPD (2011) requires a payment towards refuse bins for new residential development. No Unilateral Undertaking Forms have been provided with the application. The development is therefore contrary to Policy LP4 of the Huntingdonshire Local Plan to 2036.

Community Infrastructure Levy (CIL)

- 7.50 No Community Infrastructure Levy Forms have been provided but this is a matter which would be pursued by the Council's Implementation Team should Members choose to grant planning permission. The development would accord with Policy LP4 of Huntingdonshire's Local Plan to 2036.

Conclusion

- 7.51 The application does not contain sufficient information to justify the works nor allow Officers to fully assess the impact of the proposed conversion and ancillary works on the grade II listed building or the Brampton Conservation Area, and therefore the Local Planning Authority is unable to fully assess the proposals appropriately and meet their statutory duty to preserve the listed building and its setting. The proposal is considered to cause a medium level of less than substantial harm to the listed building and a low level of less than substantial harm to the Conservation Area. It is considered that there are no public benefits which would outweigh this harm, as required by Para 215 of the National Planning Policy Framework. As such, the proposed development would be contrary to Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policies LP2 and LP34 of Huntingdonshire's Local Plan to 2036) and Section 16 of the National Planning Policy Framework (2024). It further fails to provide a high level of residential amenity, consider the impacts on protected species or provide an agreement for financial contribution for wheeled bins contrary to Policies LP14, LP30 and LP4 of Huntingdonshire's Local Plan to 2036.

8.0 RECOMMENDATION - REFUSE for the following reasons

- 8.1 The application does not contain sufficient information to justify the works nor allow Officers to fully assess the impact of the proposed conversion and ancillary works on the grade II listed building or the Brampton Conservation Area, and therefore the Local Planning Authority is unable to fully assess the proposals appropriately and meet their statutory duty to preserve the listed building and its setting. The proposal is considered to cause a medium level of less than substantial harm to the listed building and a lower level of less than substantial harm to the Conservation Area. It is considered that there are no public benefits which would outweigh this harm, as required by Para 215 of the National Planning Policy Framework. As such, the proposed development would be contrary to Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policies LP2 and LP34 of Huntingdonshire's Local Plan to 2036) and Section 16 of the National Planning Policy Framework (2024).
- 8.2 The proposed development by virtue of the limited ground floor window openings and resulting minimal level of light afforded to the ground floor kitchen and living space would fail to provide a high level of natural light and result in a poor degree of residential amenity. It therefore conflicts with Policy LP14 (part a)

of the Huntingdonshire Local Plan to 2036, Para.135 (f) of the NPPF (2024) and Part H1 of the National Design Guide (2021).

- 8.3 Insufficient information has been provided to allow Officers to assess Biodiversity Net Gain implications and if the site supports any protected or important species for which further mitigation or licensing is required. It therefore conflicts with Biodiversity Net Gain Legislation as set out within Schedule 7A of the Town and Country Planning Act 1990 (as inserted by Schedule 14 of the Environment Act 2021), Policy LP30 of the Huntingdonshire Local Plan to 2036, the provisions of Para.192 (b) of the NPPF (2024) and Part N3 of the National Design Guide (2021).
- 8.4 No Unilateral Undertaking Forms for wheeled bin provision have been provided with the application. The development therefore fails to make adequate provision for developer contributions and conflicts with Policy LP4 of the Huntingdonshire Local Plan to 2036.

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CONTACT OFFICER:

Enquires about this report to **Kevin Simpson – Senior Development Management Officer -**
kevin.simpson@huntingdonshire.gov.uk

[REDACTED]

From: [REDACTED]
Sent: 26 June 2025 16:10
To: DMAAdmin
Subject: Planning Application 25/00884/FUL 50 High Street Brampton PE28 4TH

Good afternoon Kevin

Please see the response below for planning application 25/00884/FUL 50 High Street Brampton PE28 4TH

Planning Application: 25/00884/FUL – 50 High Street Brampton PE28 4TH Listed Building Consent for proposed conversion of outbuilding to dwelling.

Members discussed the proposed application and although they recommended approval for the conversion of the outbuilding, they raised concerns regarding significant parking issues due to the already congested High Street. Therefore, they would hope to see provision for designated off-street parking on the site to accommodate vehicles from both dwellings

Kind regards

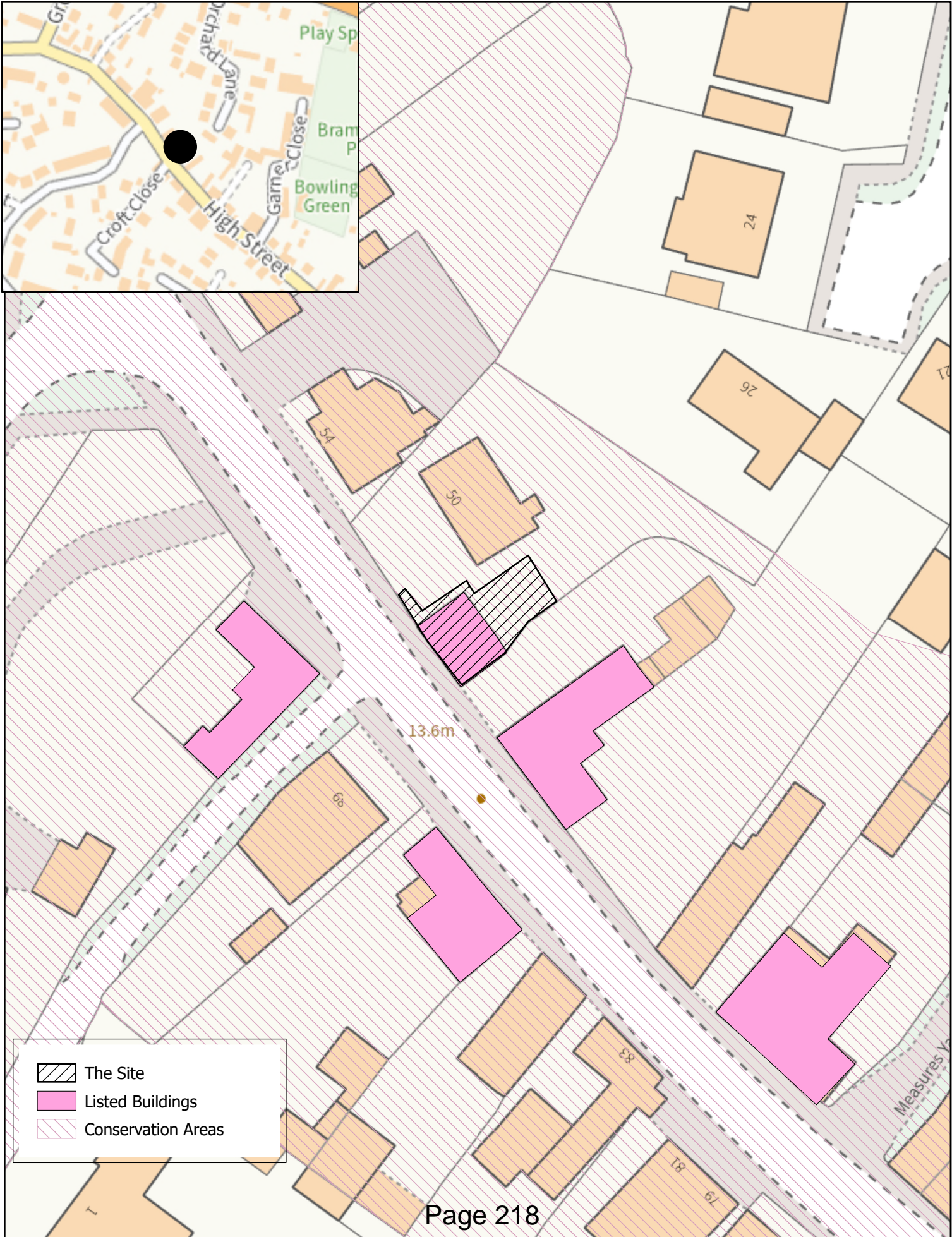
[REDACTED]
Assistant Clerk

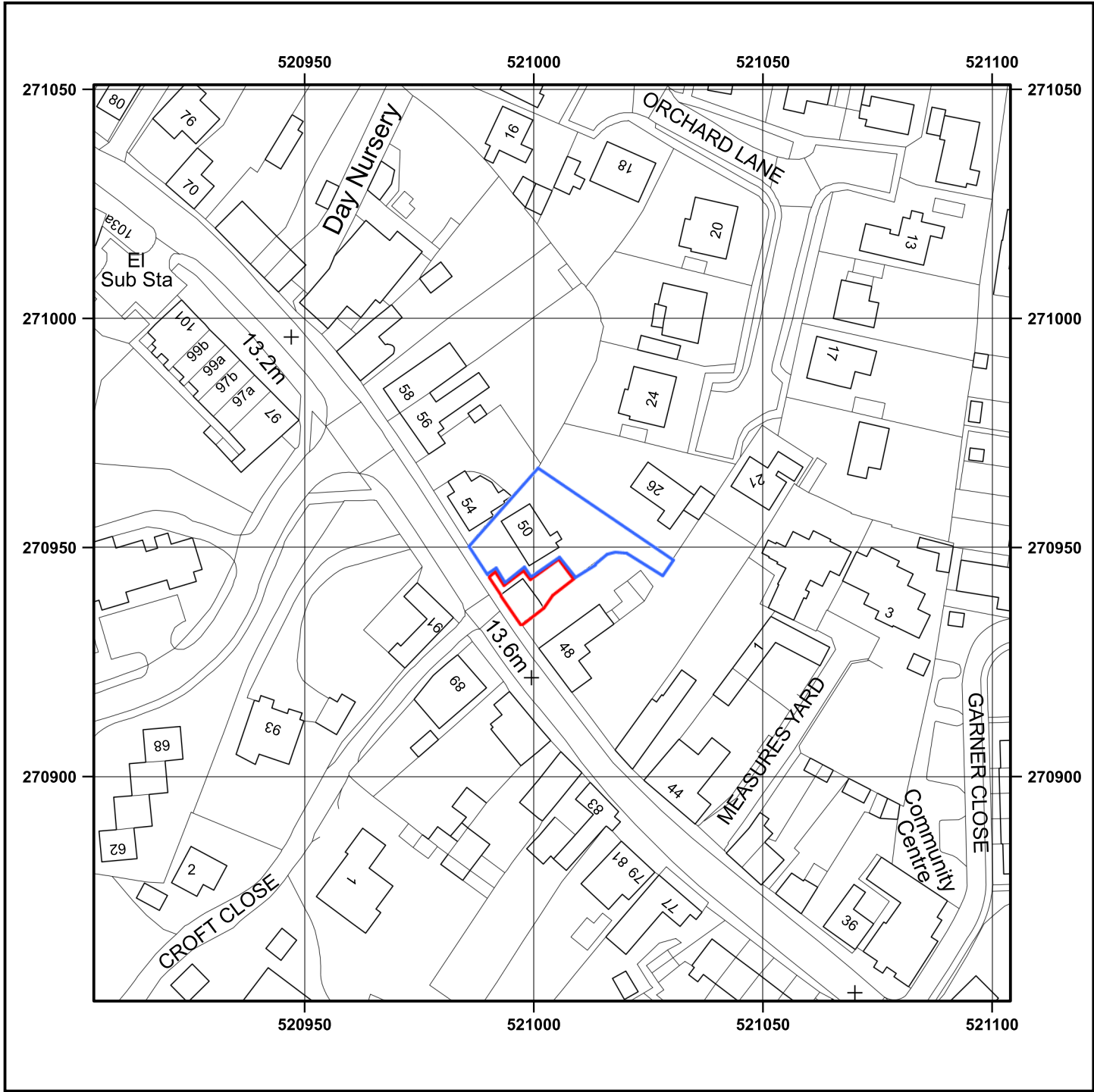
Correspondence address:

Brampton Parish Council, Brampton Memorial Centre, Thrapston Road, Brampton, Huntingdon PE28 4TB
Telephone: [REDACTED]
Website: www.brampton-cambs-pc.gov.uk

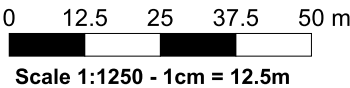
A copy of the privacy policy can be found on the website.

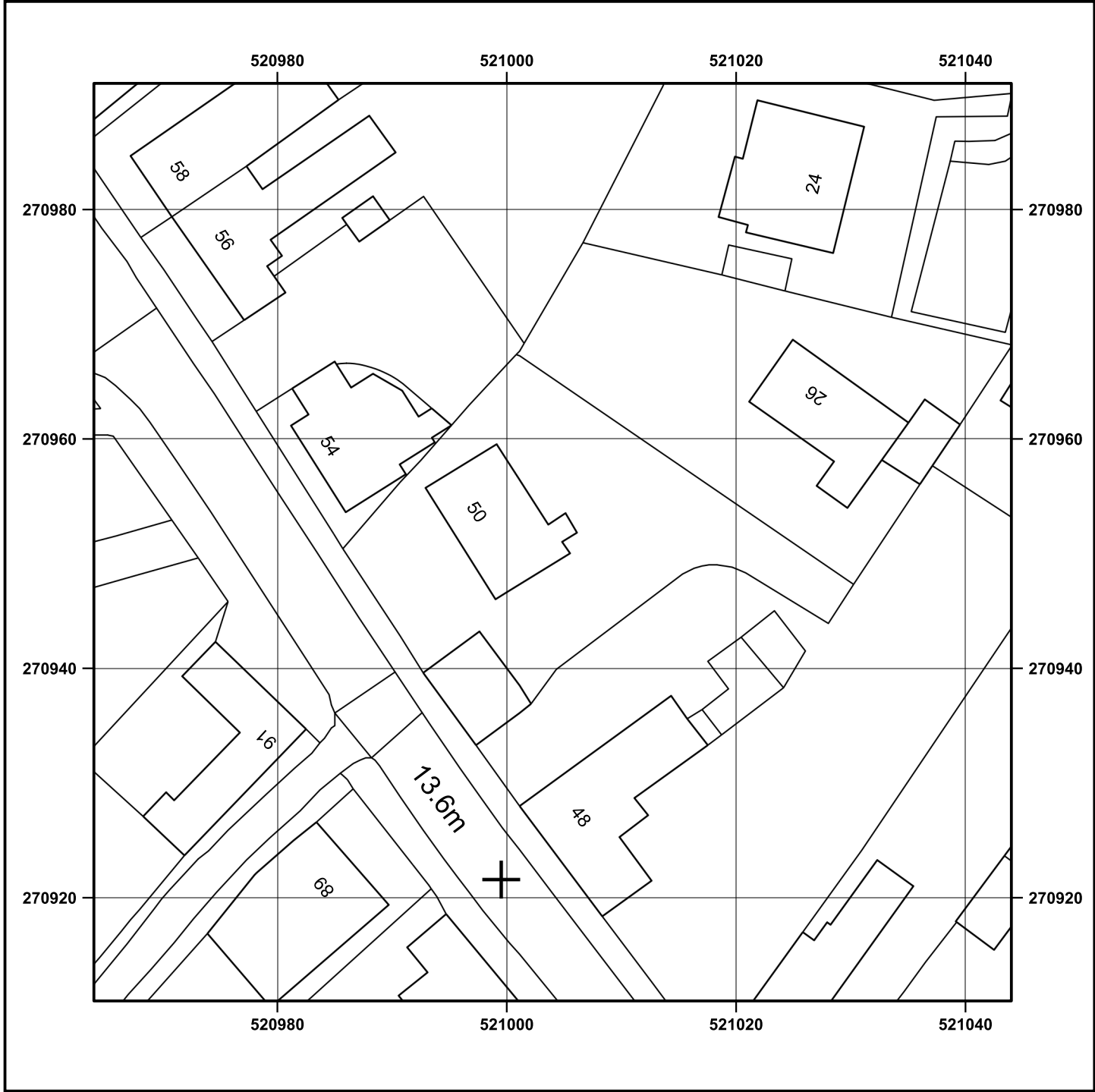
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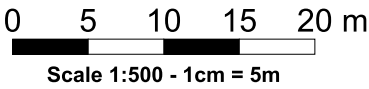


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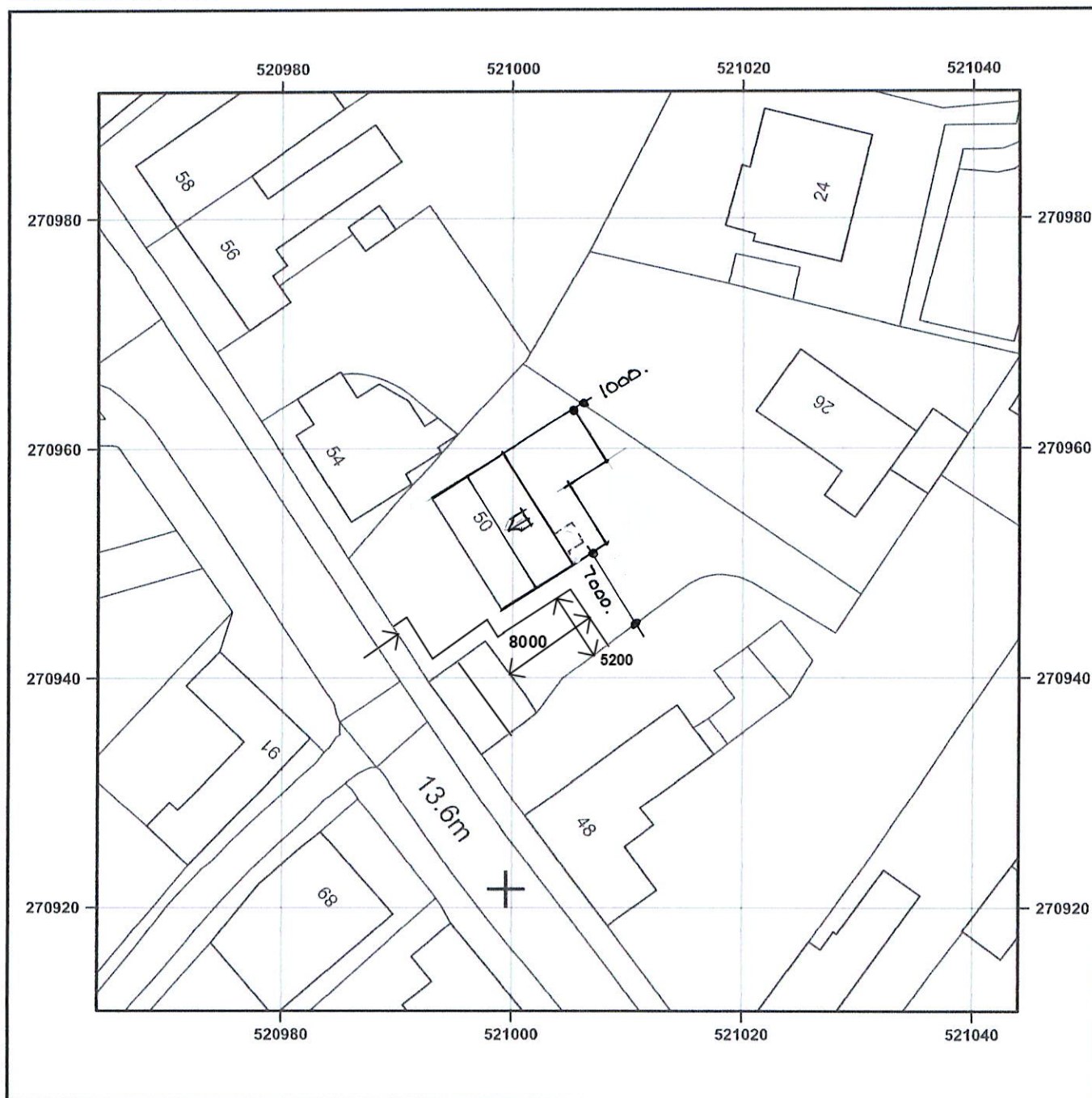




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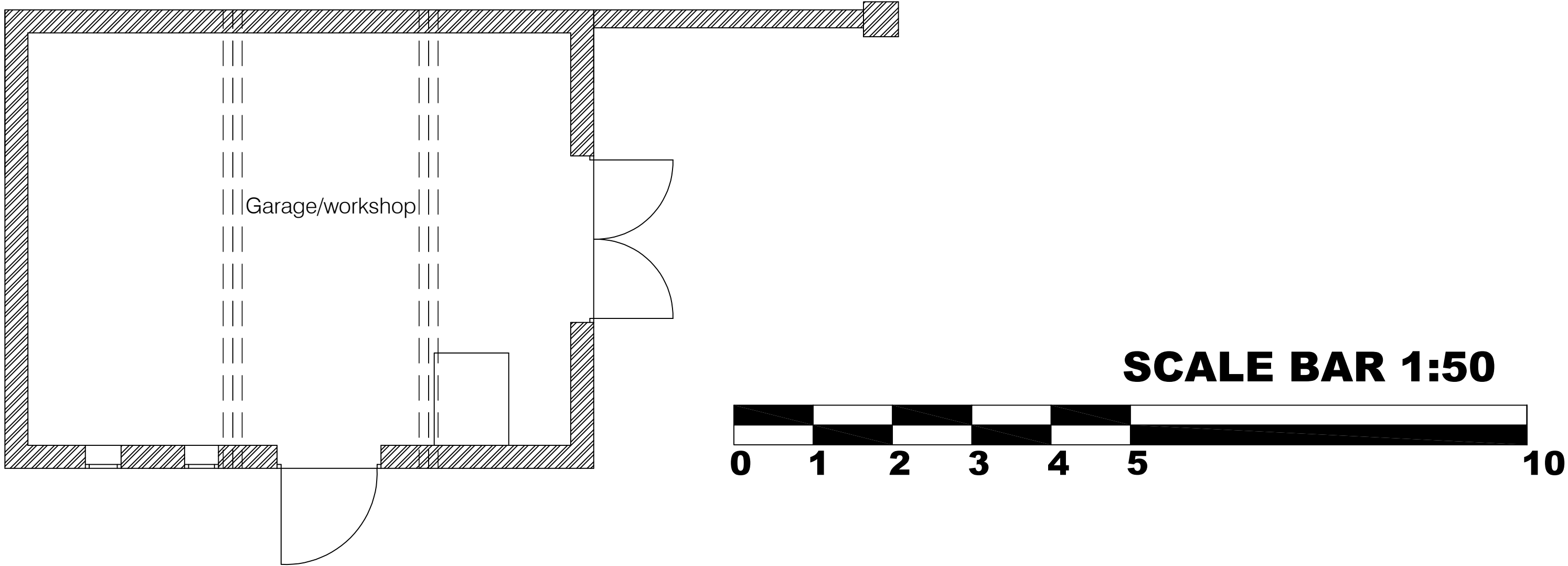


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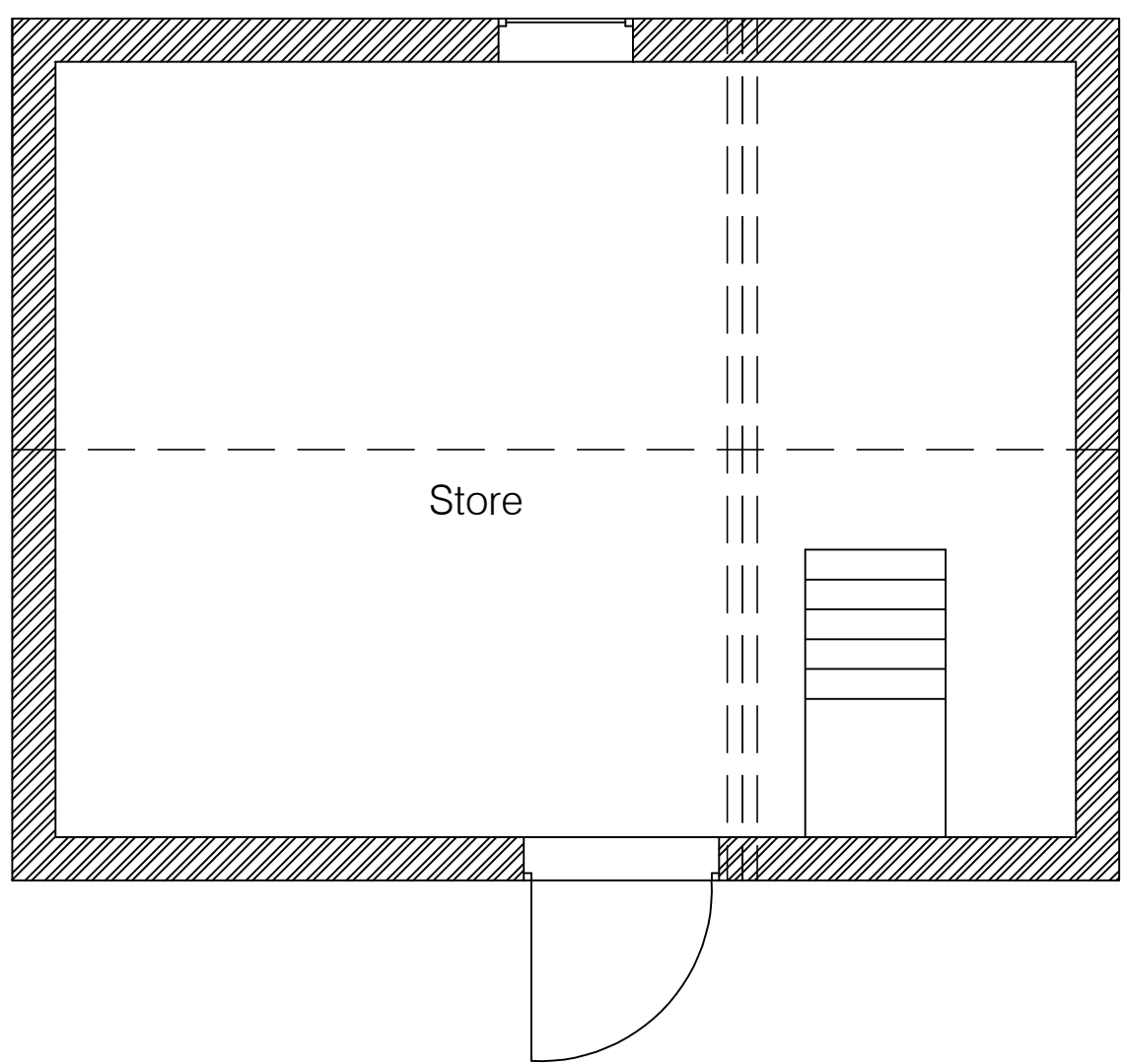


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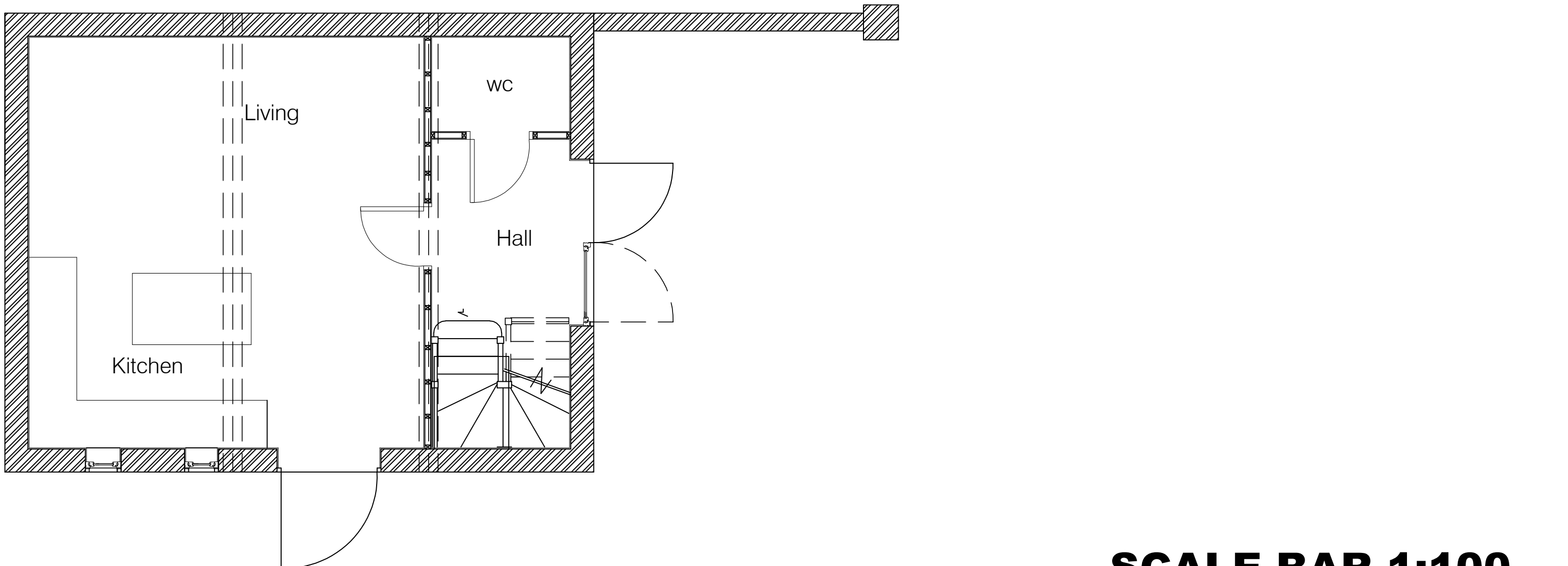
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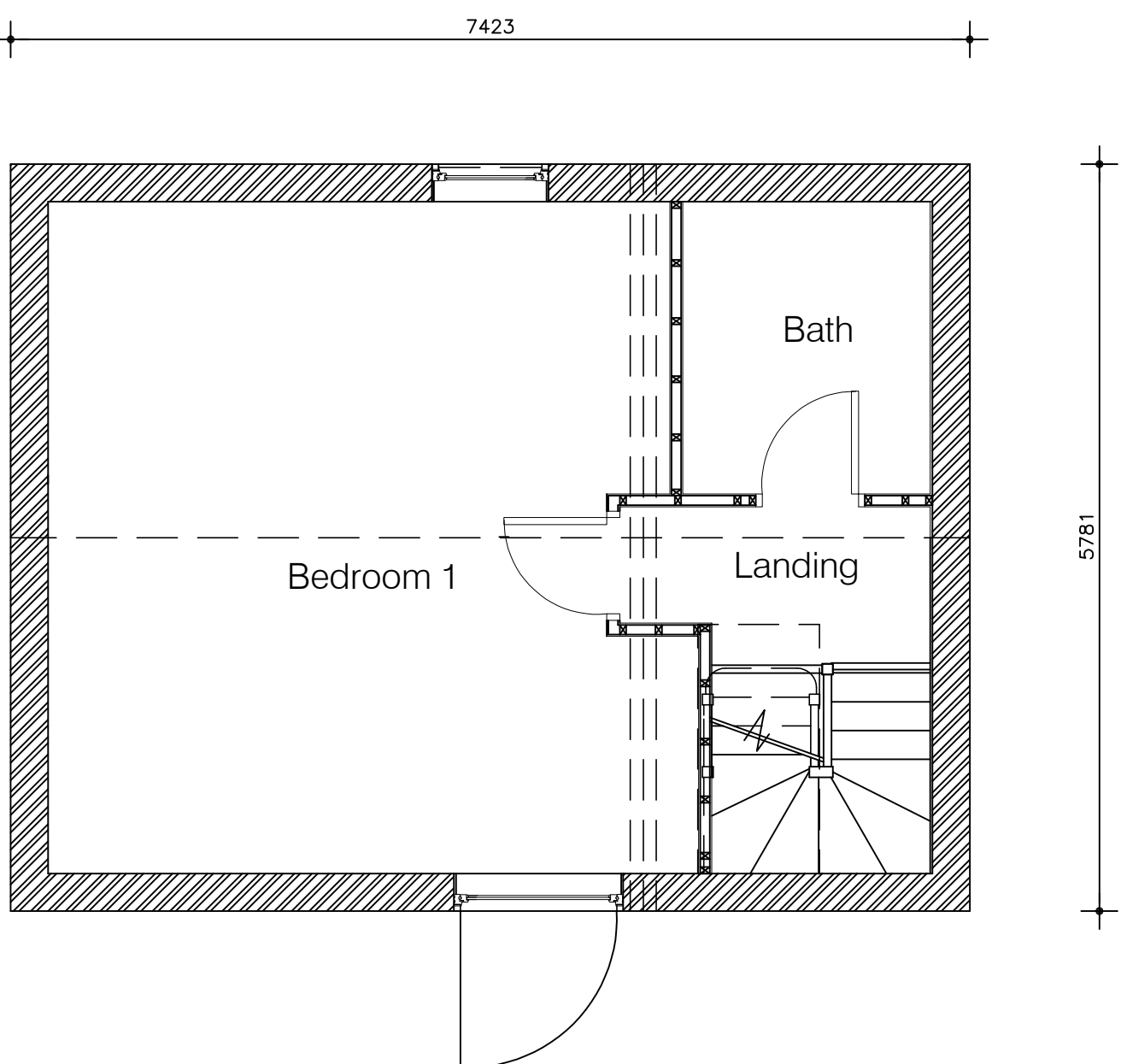
Existing Ground Floor Plan. 1:50.



Existing First Floor Plan. 1:50.



Proposed Ground Floor Plan. 1:50.



Proposed First Floor Plan. 1:50.

BEAWARE PRIOR TO COMMENCEMENT
Contractor to check and confirm all existing dimensions and features positions and is to work to suit site dimensions.

Client to inform of any deviation from drawing or specification and Clients and Building Inspector's and/or Planning departments permission to be obtained prior to commencement on site.

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Revision: By Approved
Revision 'D' Planning changes. By Paul B April 25

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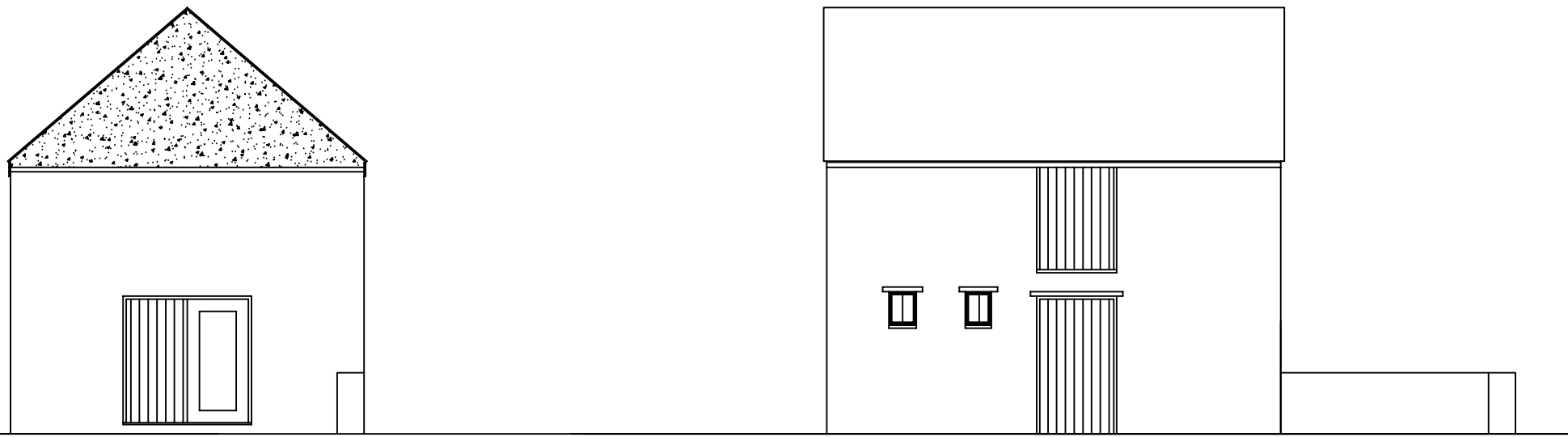
Client:
MR AND MRS LANCASTER

Project:
PROPOSED PLANNING APPLICATION FOR
CONVERSION OF LISTED BUILDING INTO DOMESTIC
DWELLING AT 50 HIGH STREET, BRAMPTON
CAMBS.

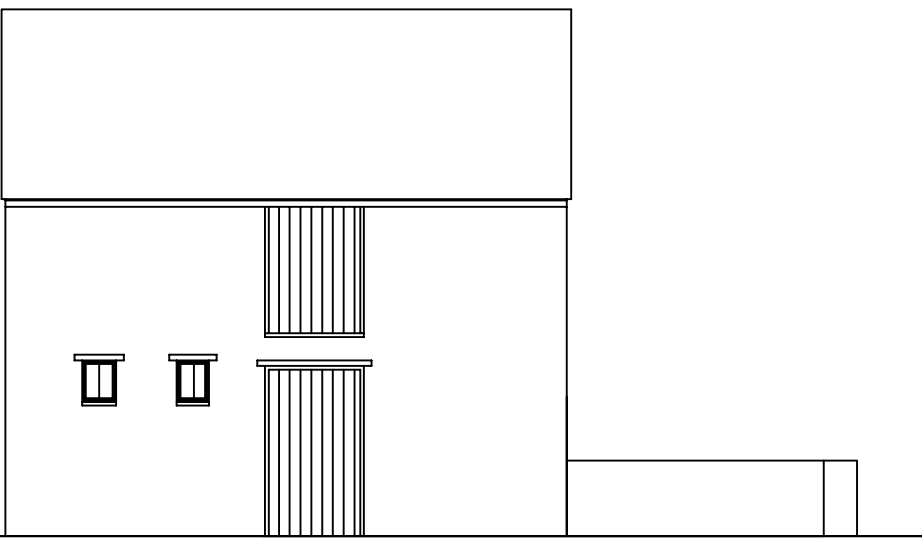
Drawing Title:
EXISTING AND PROPOSED.

Scale: 1: 50, 1:100	Date: JULY 24	Drawn: PB
Project No: 3098	Drawing No: 101	Revision: D

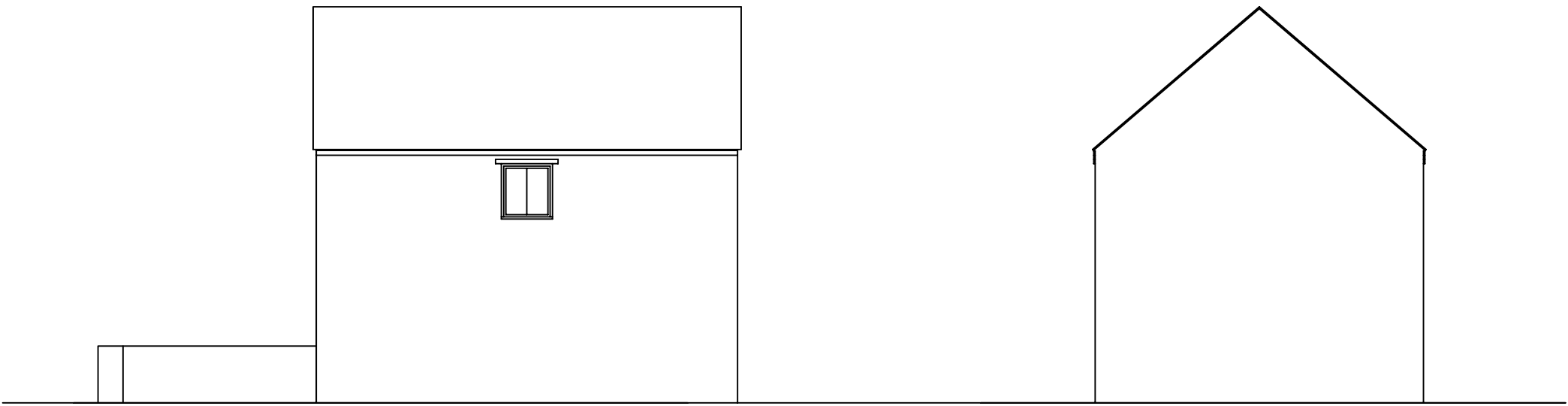
Copyright Jk Architecture. All dimensions to be verified on site.



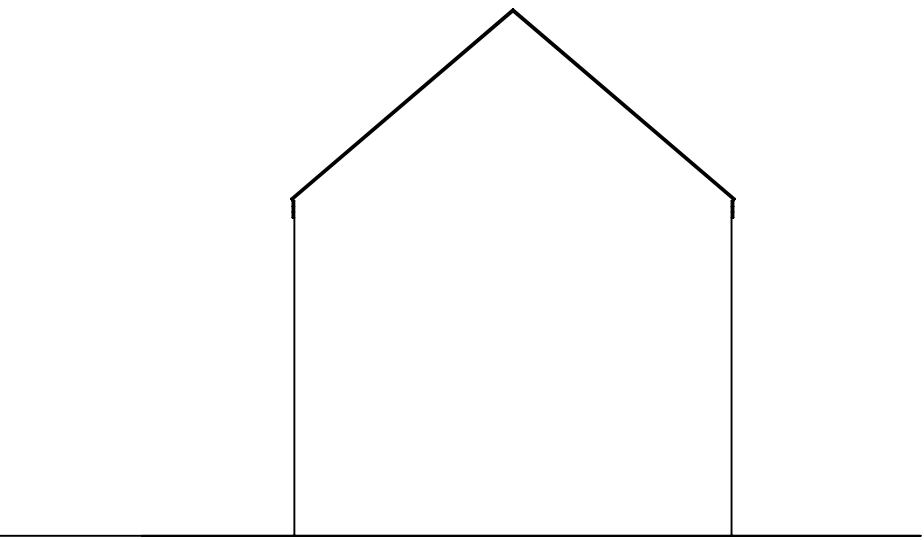
Proposed Side Elevation. 1:100.



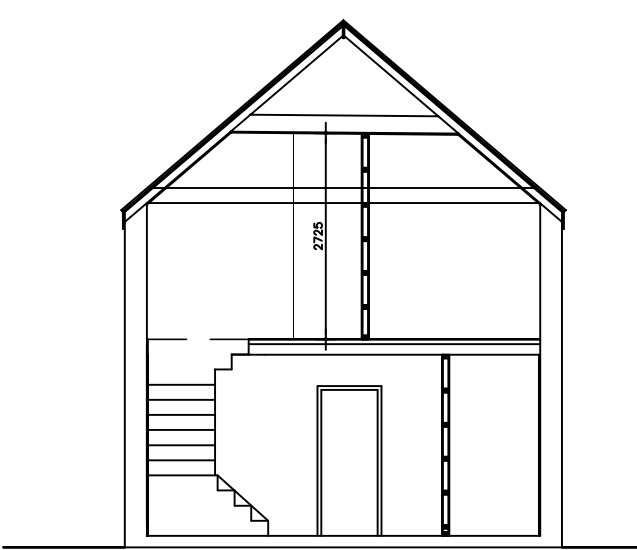
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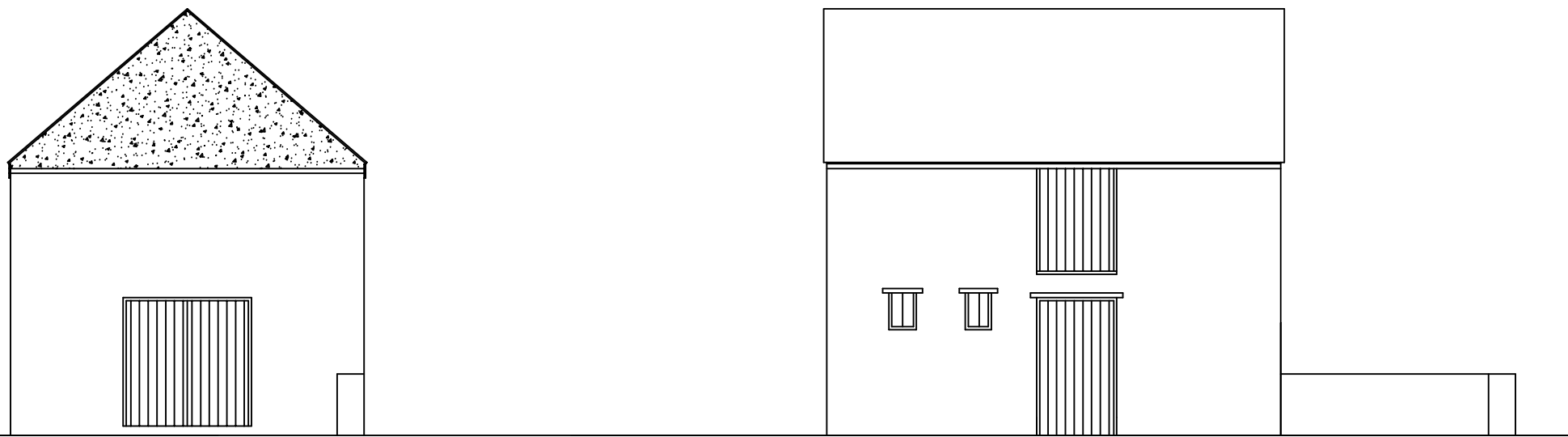
Proposed Front Elevation. 1:100.



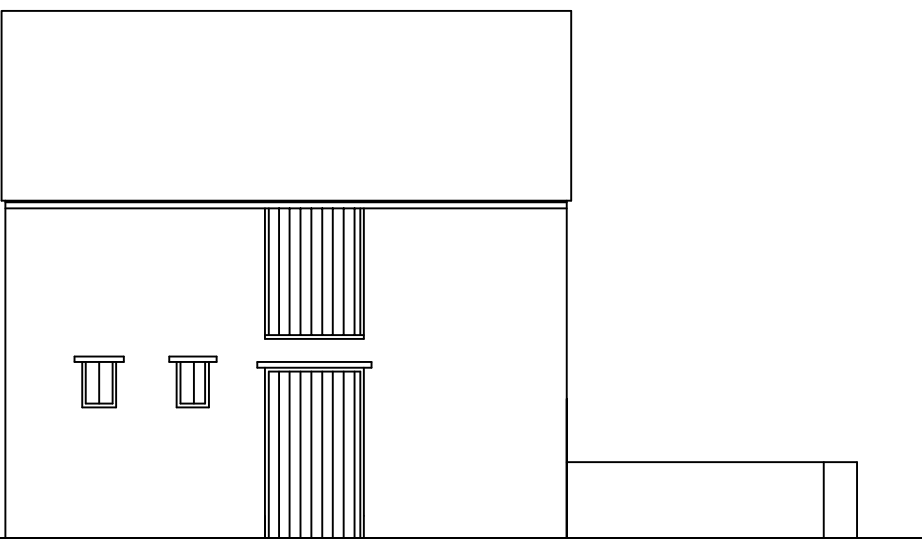
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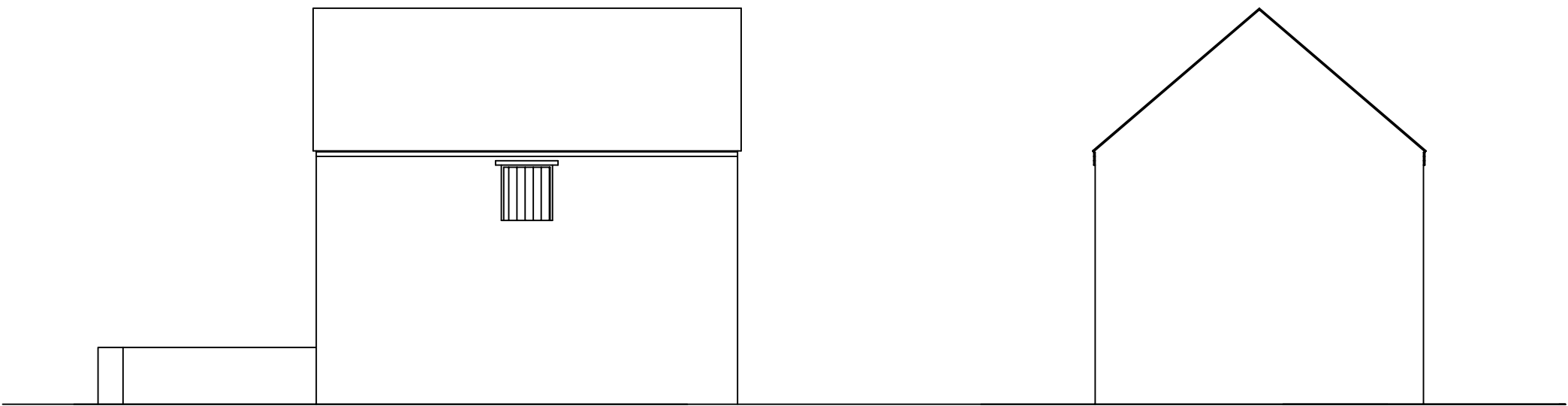
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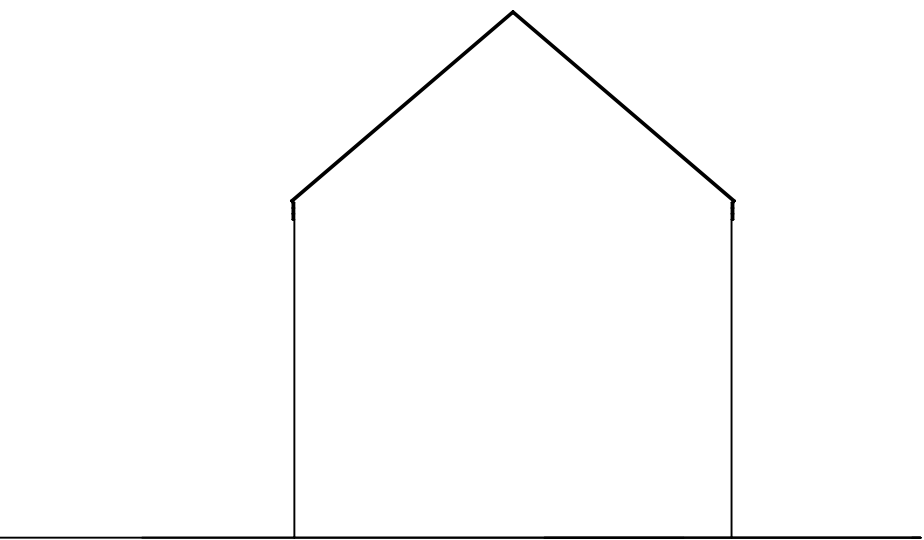
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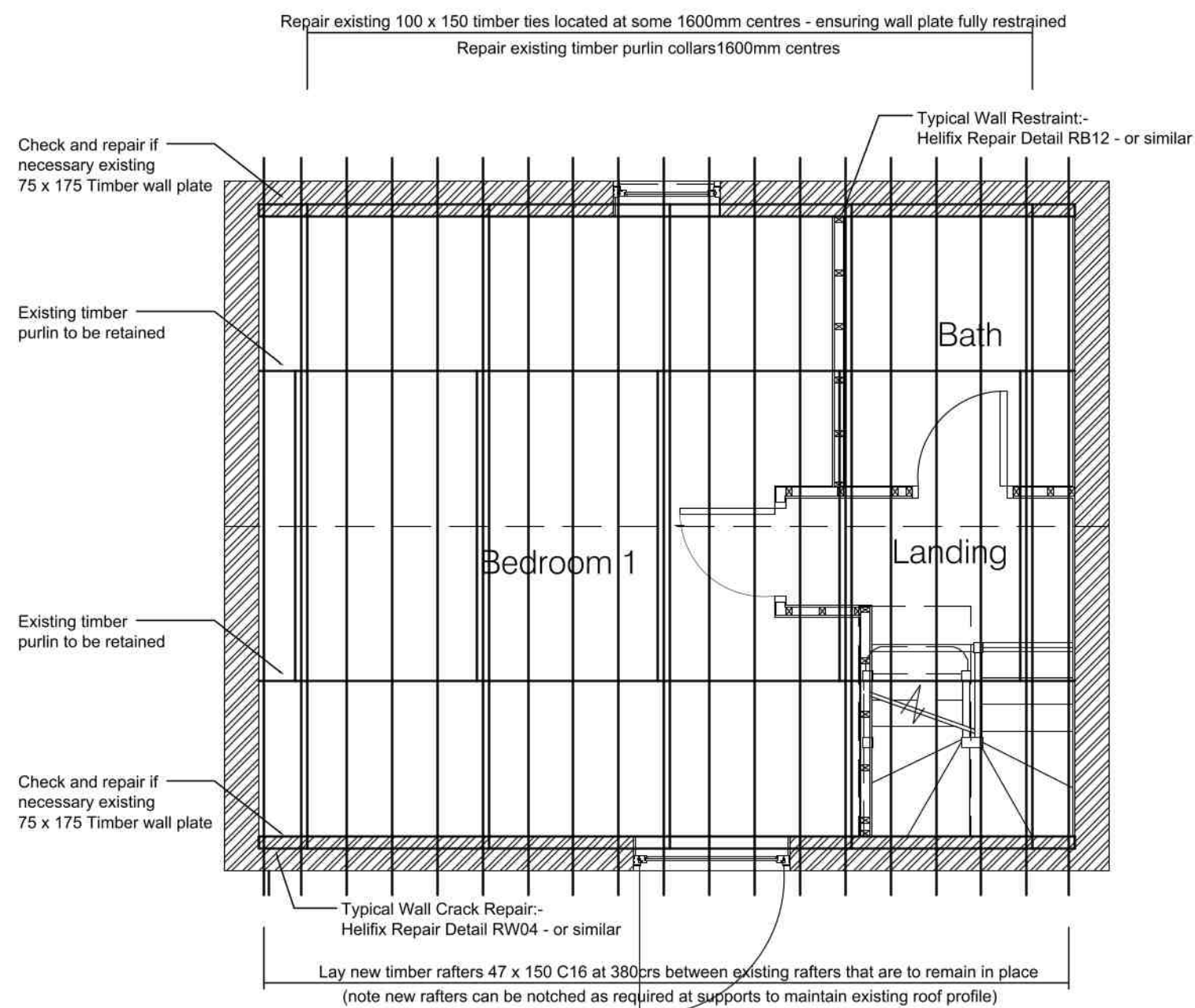
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Existing Front Elevation. 1:100.

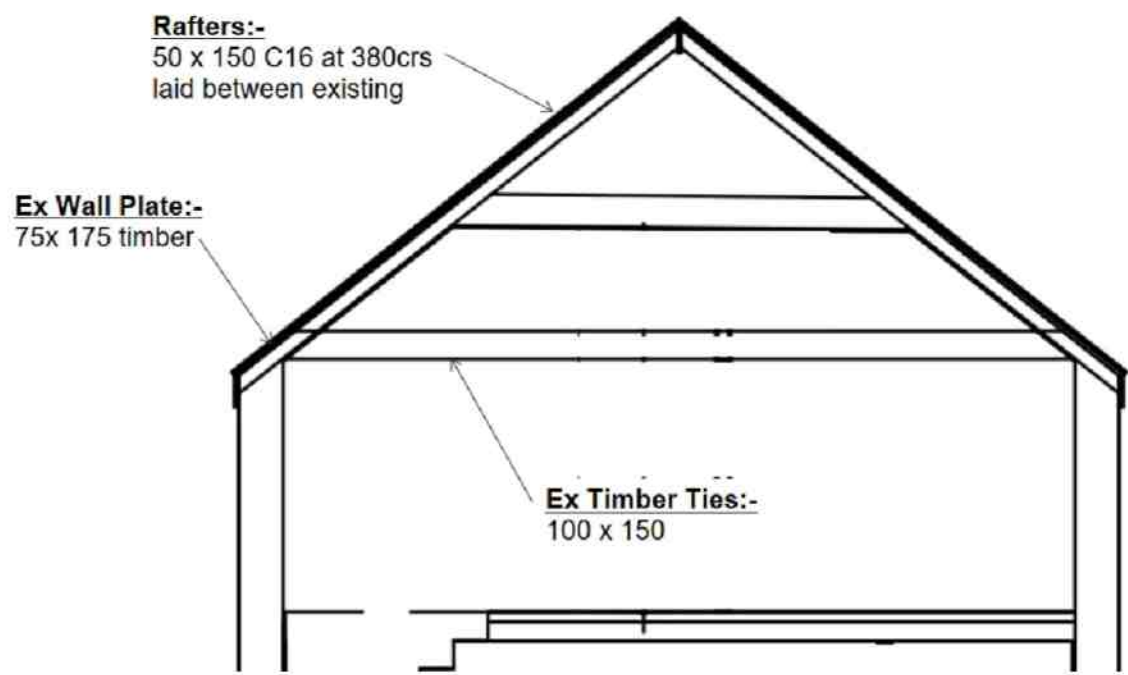


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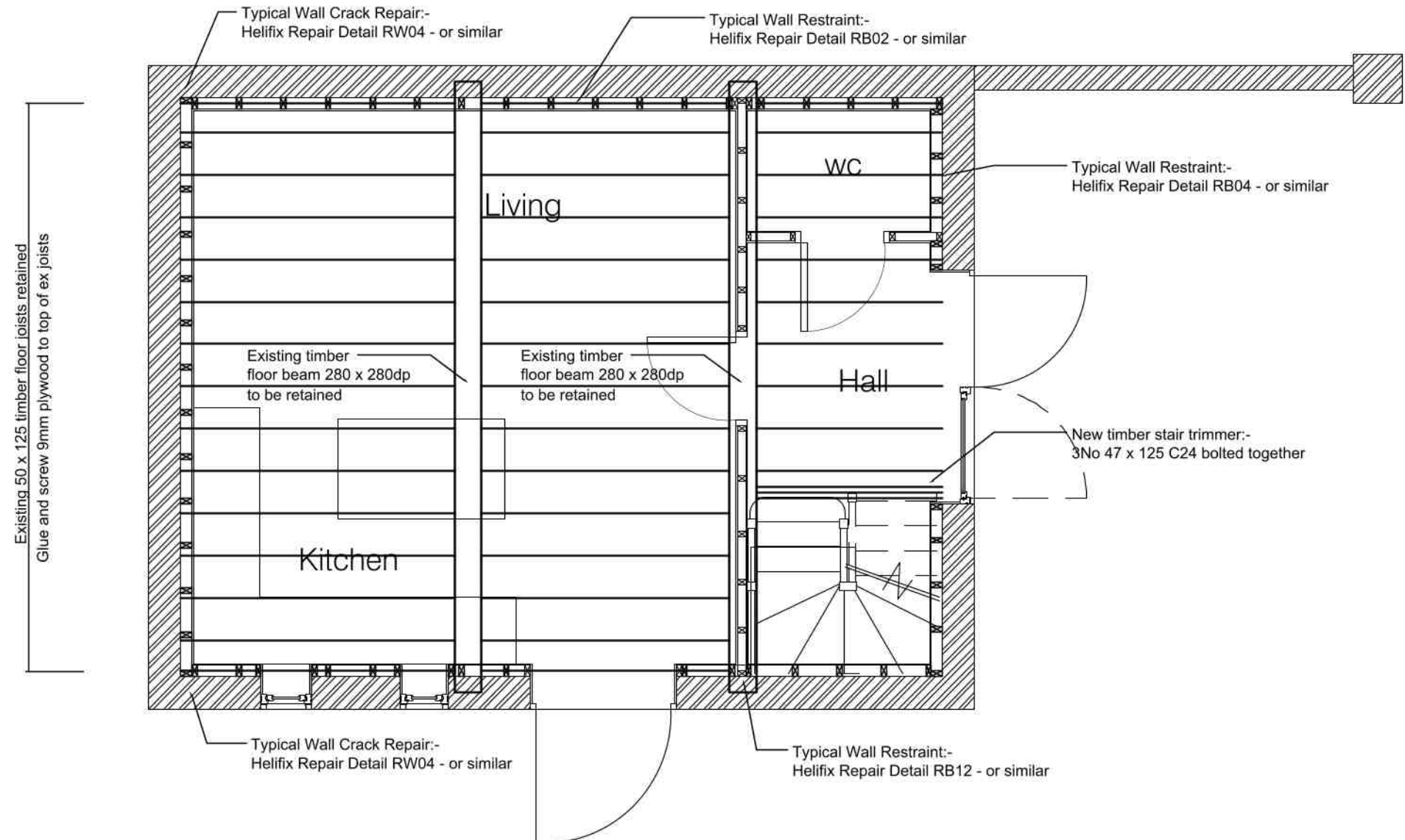


Roof Framing Plan.

Setting out to be confirmed by others prior to construction.

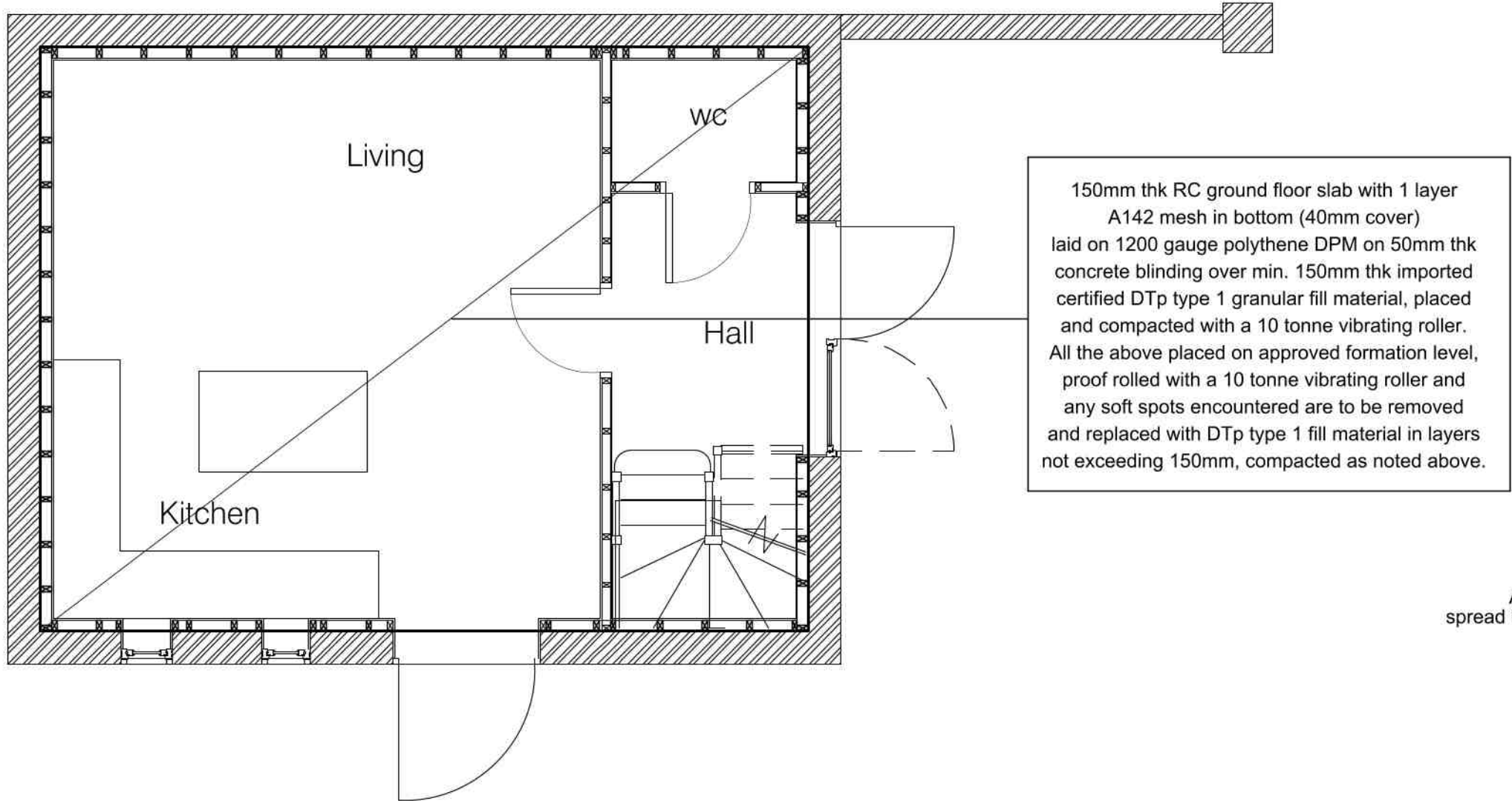


Typical Section thro Roof.



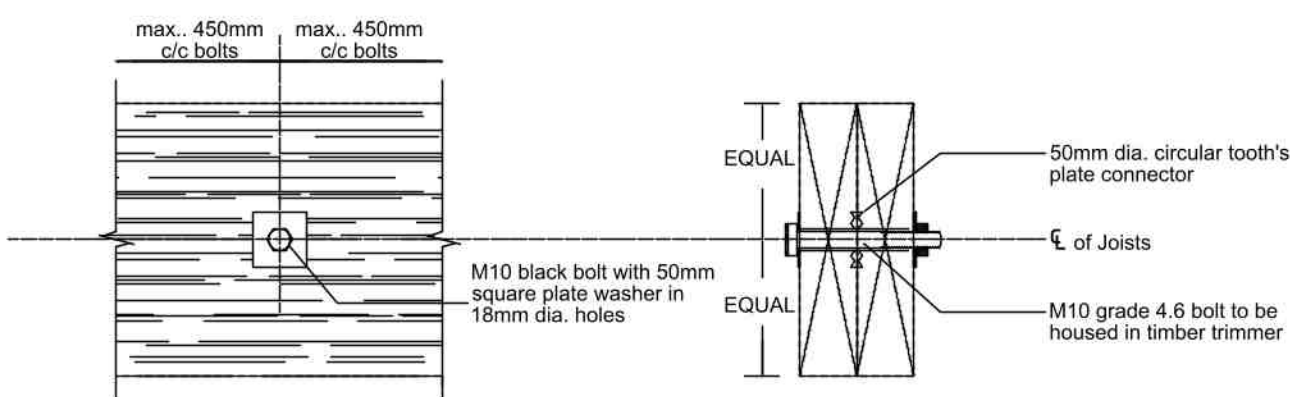
First Floor Framing Plan.

Setting out to be confirmed by others prior to construction.

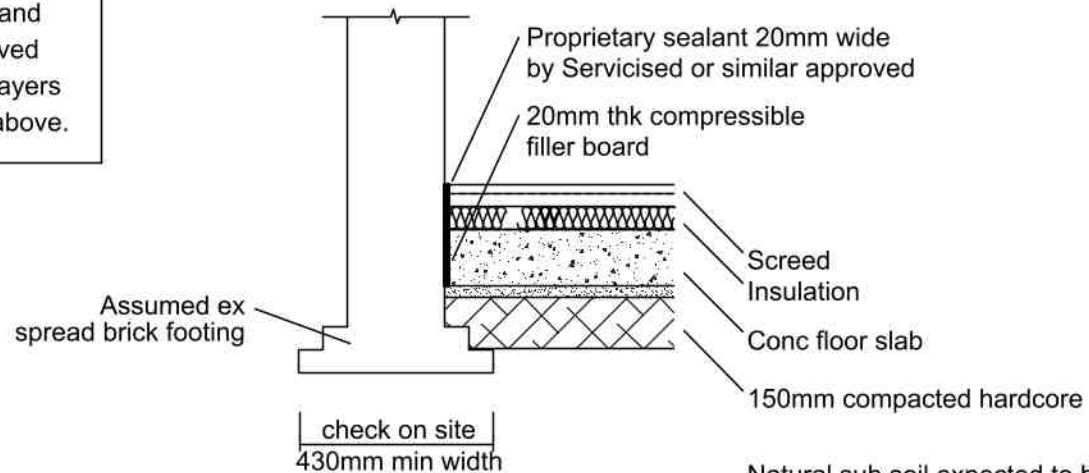


Ground Floor Framing Plan.

Setting out to be confirmed by others prior to construction.



Typical New Joist Bolting Detail.



Ex Foundation/Ground Floor Detail. [1:25]

Natural sub soil expected to be sand and gravel with a minimum allowable bearing pressure of 100 kN/m2 below topsoil - to be confirmed from site

CONTRACTORS NOTES:

1. All dimensions are shown in mm. Working dimensions to be checked on site prior to construction.
2. This drawing must be read in conjunction with all relevant Clients drawings, details and specifications.
3. The Contractor is to be responsible for following aspects of the works -
 - for complying with the CDM regulations at all times.
 - location of existing services within the works area.
 - **STABILITY OF THE STRUCTURE AND ADJACENT STRUCTURES THROUGHOUT THE WORKS.**

PROJECT NOTES:

All setting out to Architects details.

Stairs including Lands to Architects details.

TIMBER FLOOR CONSTRUCTION NOTES.

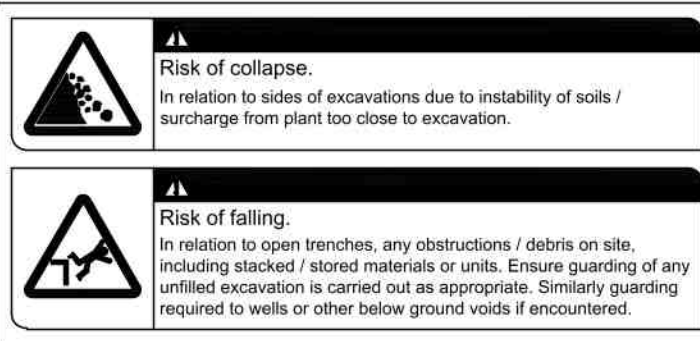
1. All structural timber members to be of minimum size as shown on the detail drawings. Sizes shown are nominal timber sizes except as noted on the drawings and will be subject to reductions in finished size to b.s.4471
2. Timber joists shall have minimum bearings of 100mm on masonry and 75mm on timber plates except as noted on the drawings.
3. All members supported on proprietary hangers shall be accurately cut to provide a full contact with the base of the hanger and shall be fixed in accordance with the hanger manufacturers instructions. Joists shall be rebated to lie flush with underside of hangers.

Ground Floor Construction Notes.

1. for setting out information refer to architects plans.
2. the groundworker shall protect the formation from degradation due to ground water or instability.
3. concrete for ground floor slab to be a Gen 1 mix for a class 1 sulphate condition in accordance with BRE digest 363. Subject to site investigation

Remedial and Brickwork Repairs.

1. Refer to Helifix specification and details for remedial works.
2. All Helifix remedial works to be strictly in accordance with their specification.



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DEVELOPMENT MANAGEMENT COMMITTEE 15th December 2025

Case No: 25/00885/LBC

Proposal: Proposed conversion of outbuilding to dwelling

Location: 50 High Street, Brampton, PE28 4TH

Applicant: Mr S Lancaster

Grid Ref: 521000 270951

Date of Registration: 12th June 2025

Parish: Brampton

RECOMMENDATION - REFUSE

This application is referred to the Development Management Committee (DMC) as the Officer's recommendation of refusal is contrary to that of the Parish Council.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 This application seeks approval for the change of use from an outbuilding which was historically a former coach house and stables for 'The Old House' (number 48 High Street), and at the time that the application was submitted associated with No. 50 High Street, Brampton. It should be noted that the submission also details works which require planning permission and which are the subject of a separate application (25/00884/FUL). This report seeks to separate the planning and listed building consent considerations, but they should be read and understood in conjunction with one another. These applications follow earlier withdrawn applications ref numbers 24/01576/FUL & 24/01577/LBC for the same works. These were withdrawn as Officers considered that there was a lack of detail provided to make a thorough assessment. This situation is not considered to have been remedied under these new submissions.
- 1.2 The building is grade II listed and within the Brampton Conservation Area. There are other grade II listed buildings in the vicinity of the application site. This area of Brampton forms part of the Huntingdon Spatial Planning Area defined under Policy LP7 of the Local Plan to 2036.
- 1.3 This application has been accompanied by the following:

- Design, Access and Heritage Statement;
- Structural Report
- Required location and existing and proposed plans;

During the lifetime of the application, following initial comments from Conservation Officers dated 25th of July 2025 the agent (uninvited by Officers) provided additional information (September 2025) consisting of:

- Helifix repair details;
- Structural calculations package;
- Framing repair plans.

The above documents were reviewed by the Conservation Officer who has confirmed in comments dated the 17th of October 2025 that the details remain insufficient and have not addressed the earlier concerns (this is assessed in further detail in the proceeding sections of the report). Further uninvited details were provided on the 19th of November 2025. The agent has been made aware of the specialists' comments throughout the application and the Officers position of refusal. This latest information has been submitted following advice that this case would be presented at Development Management Committee. Officers consider that they have acted reasonably in advice given throughout this application (and in previous applications) and therefore this latest information (though again not addressing the matters required) has not been accepted or been subject to wider consultation.

- 1.4 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (NPPF 2024) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2024 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

- 2.2 The NPPF 2024 sets out the Government's planning policies for (amongst other things):

- delivering a sufficient supply of homes;
- building a strong, competitive economy;
- achieving well-designed, beautiful and safe places;
- conserving and enhancing the natural, built and historic environment

- 2.3 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Planning Practice Guidance and

the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- LP2: Strategy for Development
- LP30: Biodiversity and Geodiversity
- LP34: Heritage Assets and their Settings

Local policies are viewable at <https://www.huntingdonshire.gov.uk>

4. RELEVANT PLANNING HISTORY

4.1 24/01576/FUL - Proposed conversion of an outbuilding into dwelling (Withdrawn)

4.2 24/01577/LBC - Proposed conversion of an outbuilding into dwelling (Withdrawn)

4.3 25/00884/FUL - Proposed conversion of outbuilding to dwelling (Pending Consideration – associated with this application and reported to this committee)

5. CONSULTATIONS

5.1 Brampton Parish Council recommend approval but raise concerns regarding parking.

5.2 HDC Conservation Team – Objection – proposal fails to justify that it would preserve the listed building and its setting and does not have regard to the preservation of the Brampton Conservation Area.

5.3 HDC Urban Design Team – No objections in terms of design. Details of some matters would need to be secured by condition.

Please note, consultations carried out on 25/00884/FUL were also carried out on this application, however, under a listed building consent application matters such as highway safety, contamination etc are not considered. Therefore, only those relevant to the consideration are detailed above.

6. REPRESENTATIONS

6.1 None received at the time of determination.

7. ASSESSMENT

7.1 The main issues to consider in the determination of this application are:

- Impact on Heritage Assets
- Biodiversity

Impact on heritage assets

7.2 The building is grade II listed and located within the Brampton Conservation Area and makes a positive contribution to the Conservation Area. It reflects the history of the area and its association with The Old House (48 High Street) which is also grade II listed.

7.3 Section 72 of the Planning (LBCA) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

Section 66 of the Planning (LBCA) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Para. 212 of the NPPF sets out that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'.

Para. 213 states that 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'

Section 16(2) of the Planning (LBCA) Act 1990 (as amended) requires special regard to be had to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

7.4 High Street is an extensive road through Brampton and hosts mainly residential development with dwellings of varying age, scale and design along its length. It does have a traditional character with more examples of historic development than modern. There are a number of listed buildings along its length with several grade II listed buildings (No's 91, 87, 48 and 44 High Street) in the immediate vicinity.

The building subject to this application is located directly on the High Street frontage to the north-west of The Old House (No.48) and south-east of No.50 which is a detached bungalow which is set back in its plot in relation to the building and has recently undergone conversion. It is a two-storey, detached structure which architecturally retains the qualities of the handmade brickwork and its solidity. That said, there are patress plates and a tie in place and evidence of some structural movement.

Previous applications under reference numbers 24/01576/FUL and 24/01577/LBC which sought permission for a similar development were withdrawn following engagement with Officers due to heritage concerns. In the intervening period, the Council's Conservation Officer has visited the site to offer advice. This application must be assessed upon its own merits but, for the reasons set out below does not address the concerns of the previous applications. Insufficient detail has been provided in order for a thorough assessment to be completed. It is clear that additional works to successfully facilitate a residential conversion will be required and in the absence of this information (and based upon the works proposed which also lack specific detail) it would be harmful to both the listed building and the Conservation Area.

- 7.5 This application proposes the change of use of the building to a residential dwelling. Internal alterations do not require planning permission but do require listed building consent. Works requiring planning permission are considered in the accompanying 25/00884/FUL application. The application is accompanied by a Design, Access and Heritage Statement and HDC's Conservation Team have been consulted.
- 7.6 Conservation Officers object to the scheme with overriding concerns summarised as:
- The submitted structural report recommended brickwork repairs using the Helifix system – there is no indication on the drawings as to where the bars will be inserted or to the extent of the repairs and impact on the exterior of the building.
 - Roof inspection and repairs. There is no indication that a detailed roof survey has been conducted to identify defects. It is unclear what works will be required to the roof. The drawing submitted in September 2025 suggest that each rafter will be doubled up with new laid between existing. There are concerns that the roof will need to be stripped (no details) and no details of how this will be insulated.

- Rainwater goods – inspect and overhaul gutters, downpipes and underground drainage. No gutters or details of proposed guttering or downpipes have been provided. The drawings show no downpipes so there is no indication as to where water will be discharged or their appearance or material finish.
- External walls and ties – the additional information submitted in September 2025 was a partial re-submission of an inadequate document which was previously submitted. It still fails to provide specific details as to which of the 4 Helifix products detailed will be used and these do not appear to be applicable for the issues that this building is experiencing. No details as to where the ‘stitching of cracks’ has been provided.
- No schedule of works has been submitted with the application. There are numerous omissions in relation to internal works (a consideration of the listed building consent application) but, as well as works detailed above (which could impact the exterior of the building and therefore require planning permission) additional exterior works to bring the building to a habitable standard and to comply with building regulations such as those detailed below could be required. These details have not been confirmed:
- Installation of new windows and doors – no specific details of these works have been provided.
- Location of soil vent pipe to W.C and bathroom (external vent pipe would not be supported).
- No details as to if re-roofing will be required.
- No details of brickwork repairs. Extent of these and how these will be conducted (schedule of works/methodology).
- Constructional calculations are unclear. Appropriate scaled drawings have not been provided. Details appear to suggest the insertion of additional new rafters into the roof – this would necessitate the stripping and relaying of the roof these works are not indicated on the drawings.
- Document (originally submitted) suggests that a ply membrane will be glued and screwed atop the existing floor joists. Detail provided in September 2025 show this, but it is not to scale and there are no details as to if the existing floorboards are to be retained. There is concern that given the inaccurate measurements that the eaves ties may not be sufficiently above finished floor level to

allow unrestricted access. Further justification for these works is required.

- Indicative drawings have been provided (not to scale) regarding the foundations of the building. There is no way to understand the impact on the levels within the building. Annotations suggest that the floor will be reinforced concrete with a polythene damp proof membrane. This will then force any damp up the walls of the building as no damp proof course has been proposed. Neither of these systems are appropriate for a listed building. Evidence provided in September 2025 indicates that the entire structure will be dry lined. No details of any insulation is provided. These works would fundamentally undermine the character of the building.
- No details of the proposed new ceiling. Where it would be, what is proposed and impact on beams.
- Unclear if the first-floor structure is to be retained or replaced and if it could cope with the loading capacity for residential use or if historic downstand beams be retained.
- Unclear if the door to the hatch on the front elevation will be retained or lost.

7.7 Overall, whilst Conservation Officers recognise that there is some scope for alteration, the submission as presented is wholly inadequate to assess the impacts of the works proposed on the listed building and Conservation Area and for that reason there is not sufficient justification to demonstrate that they preserve the listed building or its setting. Furthermore, they also fail to demonstrate that they have regard to the preservation and enhancement of the Brampton Conservation Area.

7.8 Based upon the extent of the proposals and lack of information provided with the application (as set out in the preceding sections of this report) alongside the advice of specialists, Officers conclude that the works would be contrary to Policies LP2 and LP34 of the Huntingdonshire Local Plan to 2036, the Planning (Listed Buildings and Conservation Areas) Act (1990), the provisions of the NPPF (2024). Overall there would be a medium level of less than substantial harm to the listed building and a low level of less than substantial harm to the Conservation Area.

Biodiversity

7.9 Policy LP30 of the Local Plan requires a development to ensure no net loss of biodiversity and achieve a net gain where possible. The submitted Biodiversity Checklist specifically asks if the

proposed development would constitute or include the modification, conversion, demolition or removal of any part of a building/structure (especially roof voids) including (amongst other matters) pre-1914 building with gable ends or slate roofs regardless of their location. Both of these apply to this building. The agent has answered no to this question in the checklist. The guidance contained within the checklist details that if the answer to any of these queries is yes, then the application should be accompanied by a Preliminary Ecological Appraisal. No such information has been provided. As this is the case, Officers cannot guarantee that the building does not support important or legally protected species. The absence of this information means that there is no knowledge as to if any specific mitigation measures or licensing is required in order for the development to proceed. Such matters must be dealt with at the application stage and cannot be addressed by condition.

- 7.10 Overall, having regard to the above, Officers cannot be satisfied that the development would not have an impact on any protected or important species. It would therefore conflict with Policy LP30 of the Huntingdonshire Local Plan to 2036 and the provisions of Para.192 (b) of the NPPF (2024).

Conclusion

- 7.11 The application does not contain sufficient information to justify the works nor allow Officers to fully assess the impact of the proposed conversion and ancillary works on the grade II listed building or the Brampton Conservation Area, and therefore the Local Planning Authority is unable to fully assess the proposals appropriately and meet their statutory duty to preserve the listed building and its setting. The proposal is considered to cause a medium level of less than substantial harm to the listed building and a lower level of less than substantial harm to the Conservation Area. It is considered that there are no public benefits which would outweigh this harm, as required by Para 215 of the National Planning Policy Framework. As such, the proposed development would be contrary to Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policies LP2 and LP34 of Huntingdonshire's Local Plan to 2036) and Section 16 of the National Planning Policy Framework (2024). It further fails to consider the impacts on protected species contrary to Policy LP30 of Huntingdonshire's Local Plan to 2036 and the provisions of Para.192 (b) of the NPPF (2024).

8.0 RECOMMENDATION - REFUSE for the following reasons

- 8.1 The application does not contain sufficient information to justify the works nor allow Officers to fully assess the impact of the proposed conversion and ancillary works on the grade II listed building or the Brampton Conservation Area, and therefore the Local Planning Authority is unable to fully assess the proposals appropriately and meet their statutory duty to preserve the listed building and its setting. The proposal is considered to cause a medium level of less than substantial harm to the listed building and a low level of less than substantial harm to the Conservation Area. It is considered that there are no public benefits which would outweigh this harm, as required by Para 215 of the National Planning Policy Framework. As such, the proposed development would be contrary to Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policies LP2 and LP34 of Huntingdonshire's Local Plan to 2036) and Section 16 of the National Planning Policy Framework (2024).
- 8.2 Insufficient information has been provided to allow Officers to assess implications on any protected or important species for which further mitigation or licensing may be required. It therefore conflicts with Policy LP30 of the Huntingdonshire Local Plan to 2036 and the provisions of Para.192 (b) of the NPPF (2024).

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CONTACT OFFICER:

Enquires about this report to **Kevin Simpson – Senior Development Management Officer -**
kevin.simpson@huntingdonshire.gov.uk

[REDACTED]

From: [REDACTED]
Sent: 26 June 2025 16:06
To: DMAAdmin
Subject: Planning Application 25/00885/LBC 50 High Street Brampton

Good afternoon Kevin

Please see the response below for planning application 25/00885/LBC 50 High Street Brampton PE28 4TH

1. Planning Application: 25/00885/LBC – 50 High Street Brampton PE284TH Listed Building
Consent for proposed conversion of outbuilding to dwelling.

Members discussed the proposed application and although they recommended approval for the conversion of the outbuilding, they raised concerns regarding significant parking issues due to the already congested High Street. Therefore, they would hope to see provision for designated off-street parking on the site to accommodate vehicles from both dwellings

Kind regards

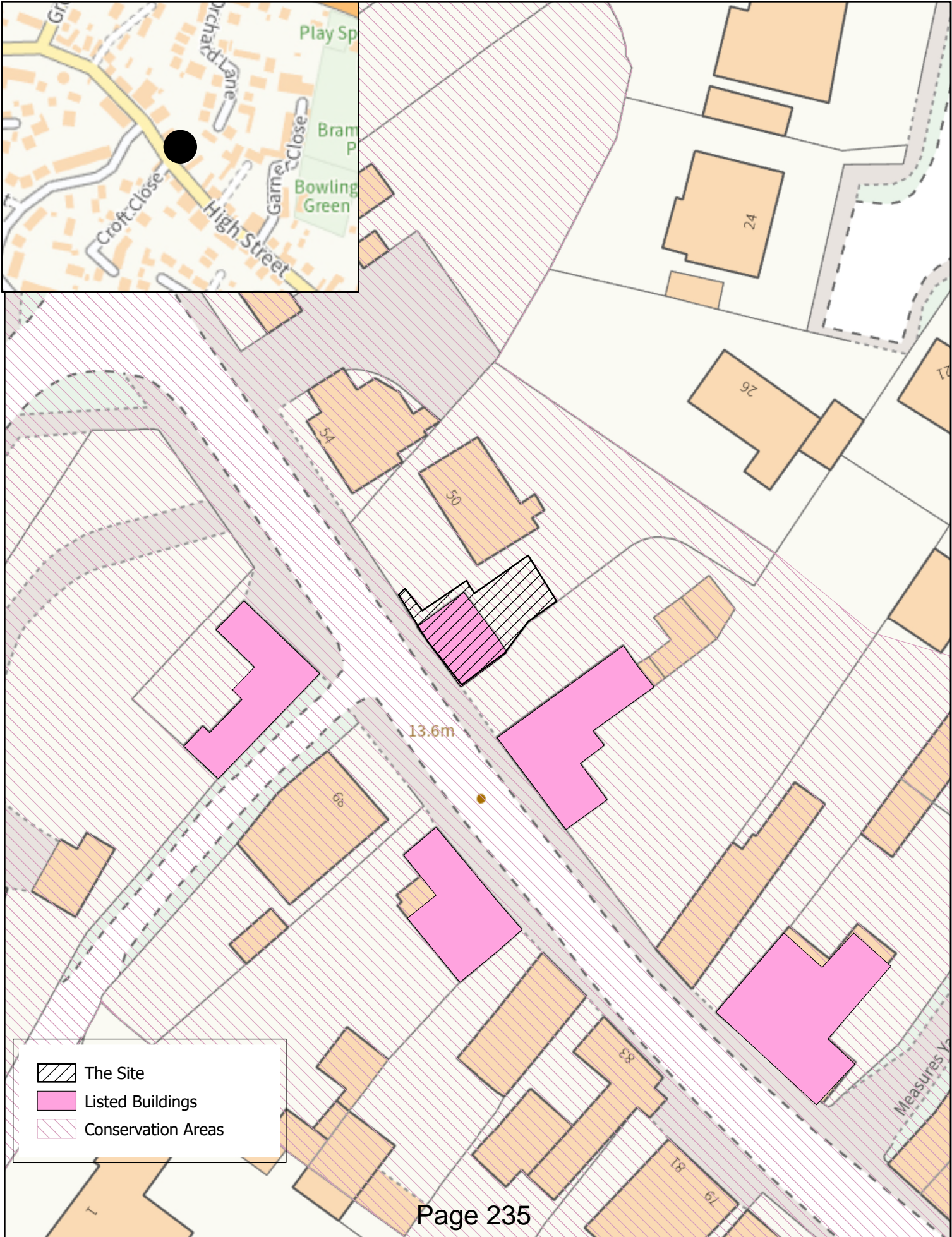
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Assistant Clerk

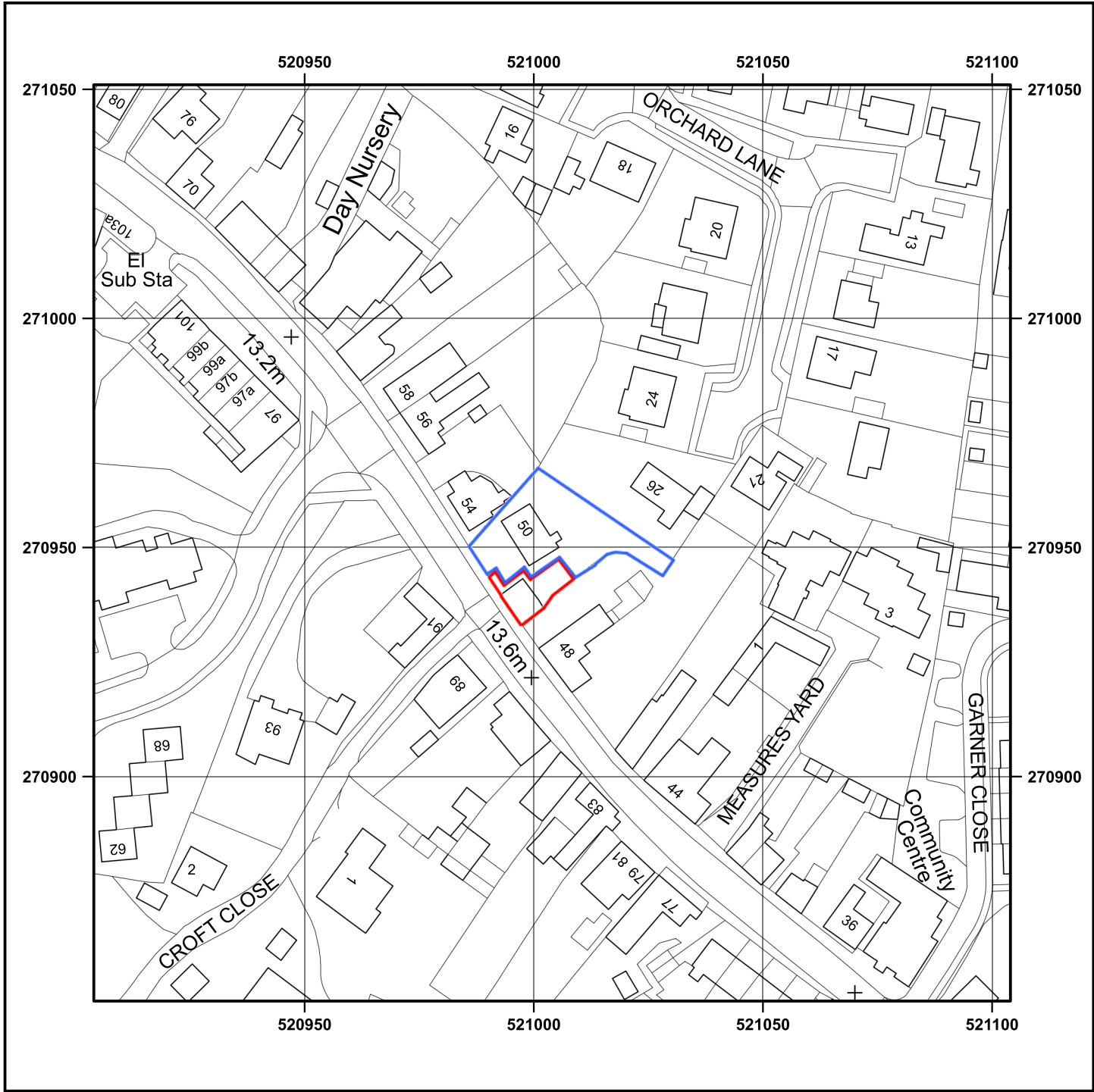
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Telephone: [REDACTED]
Website: www.brampton-cambs-pc.gov.uk

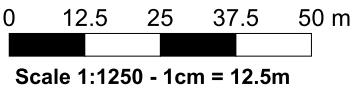
A copy of the privacy policy can be found on the website.

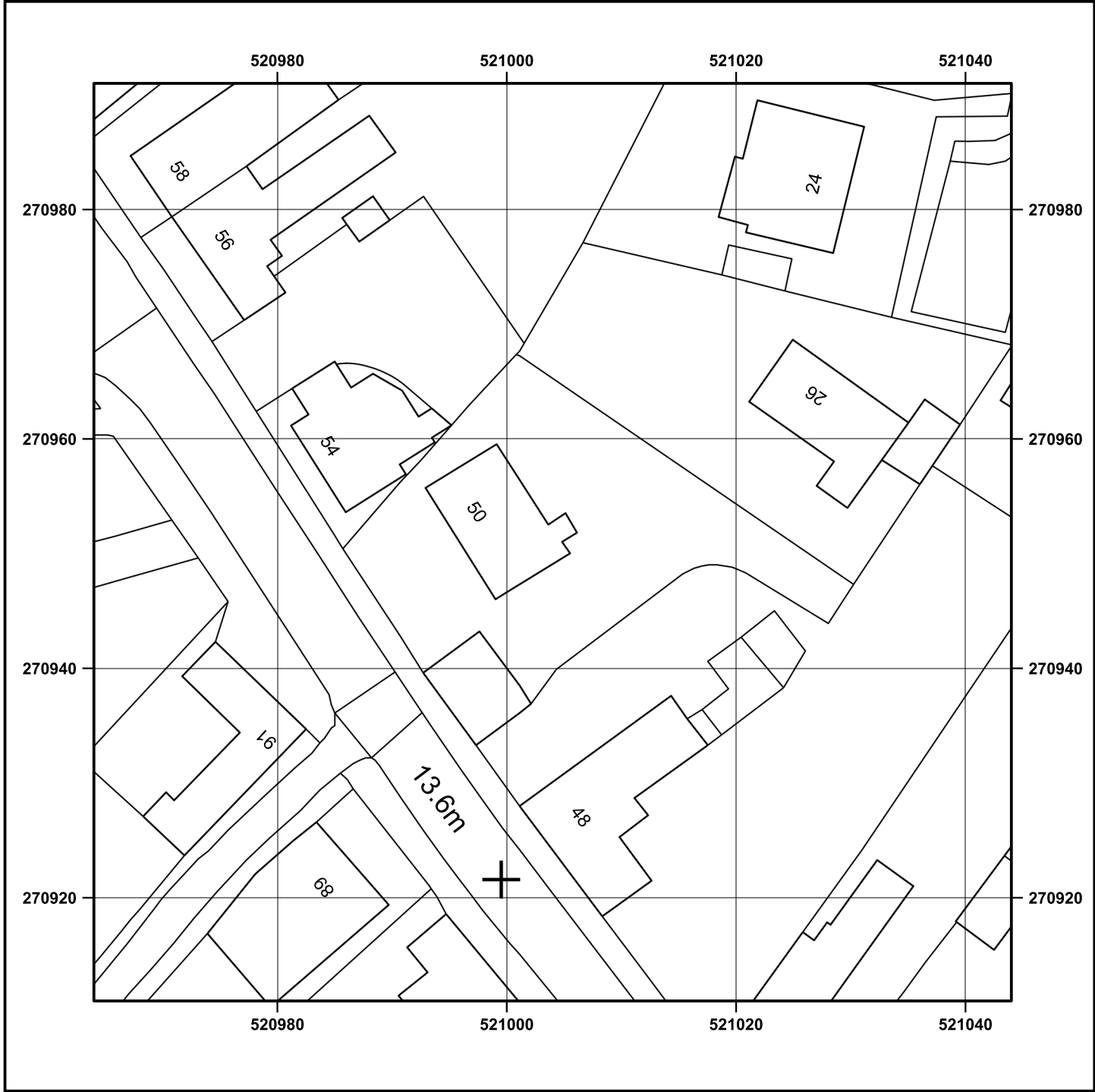
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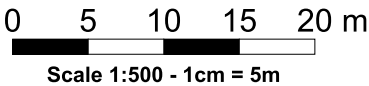


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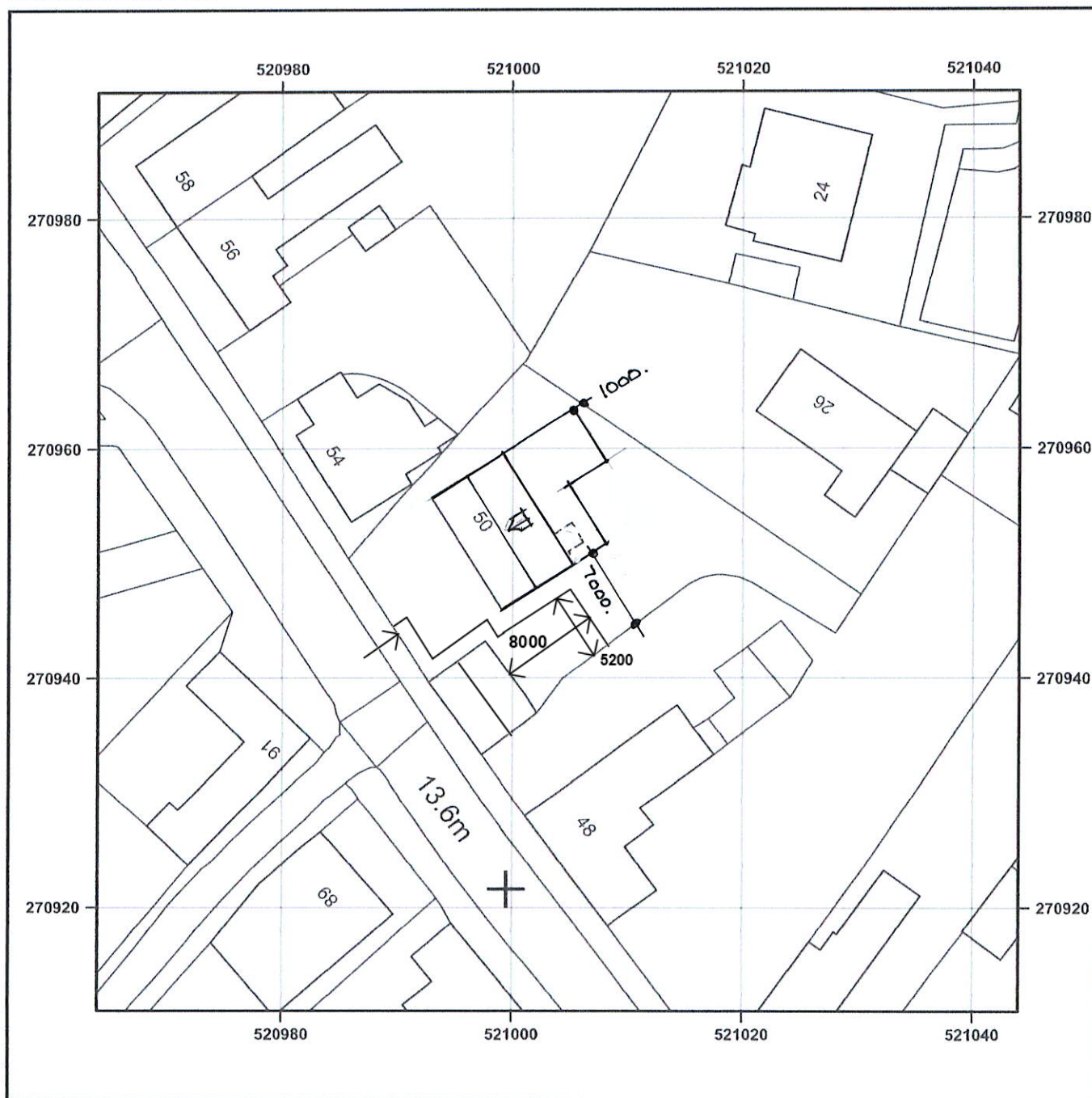




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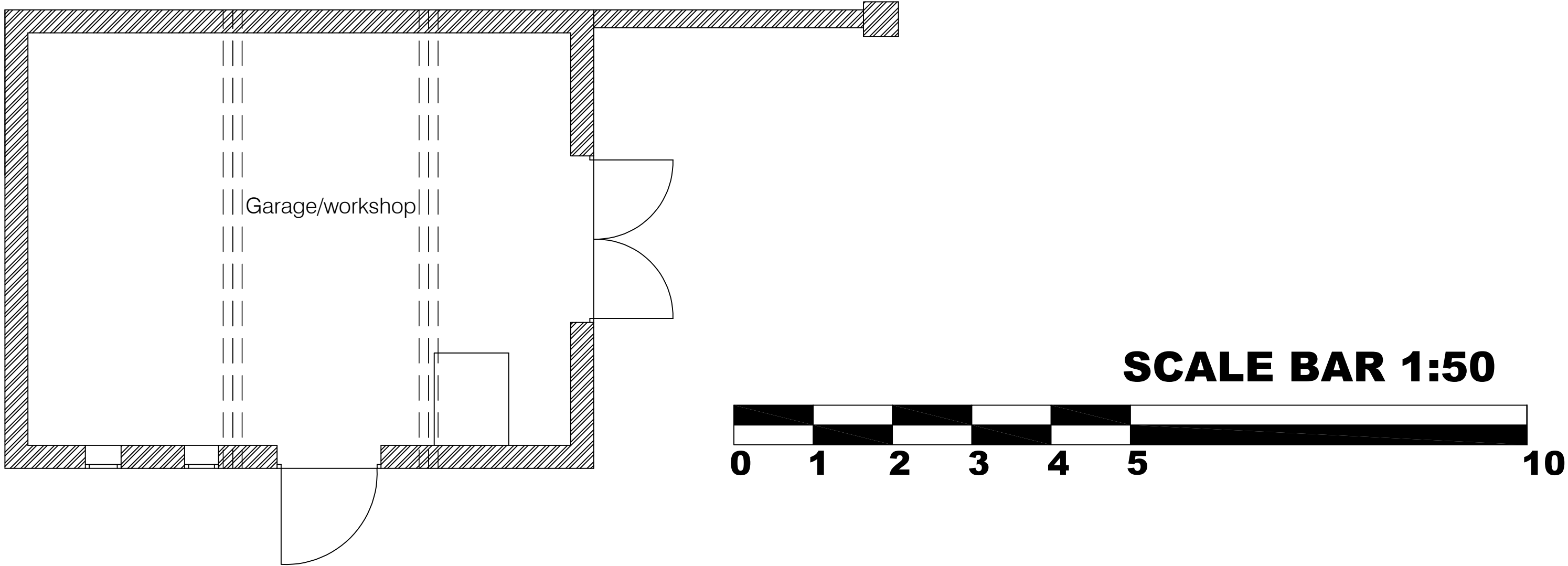


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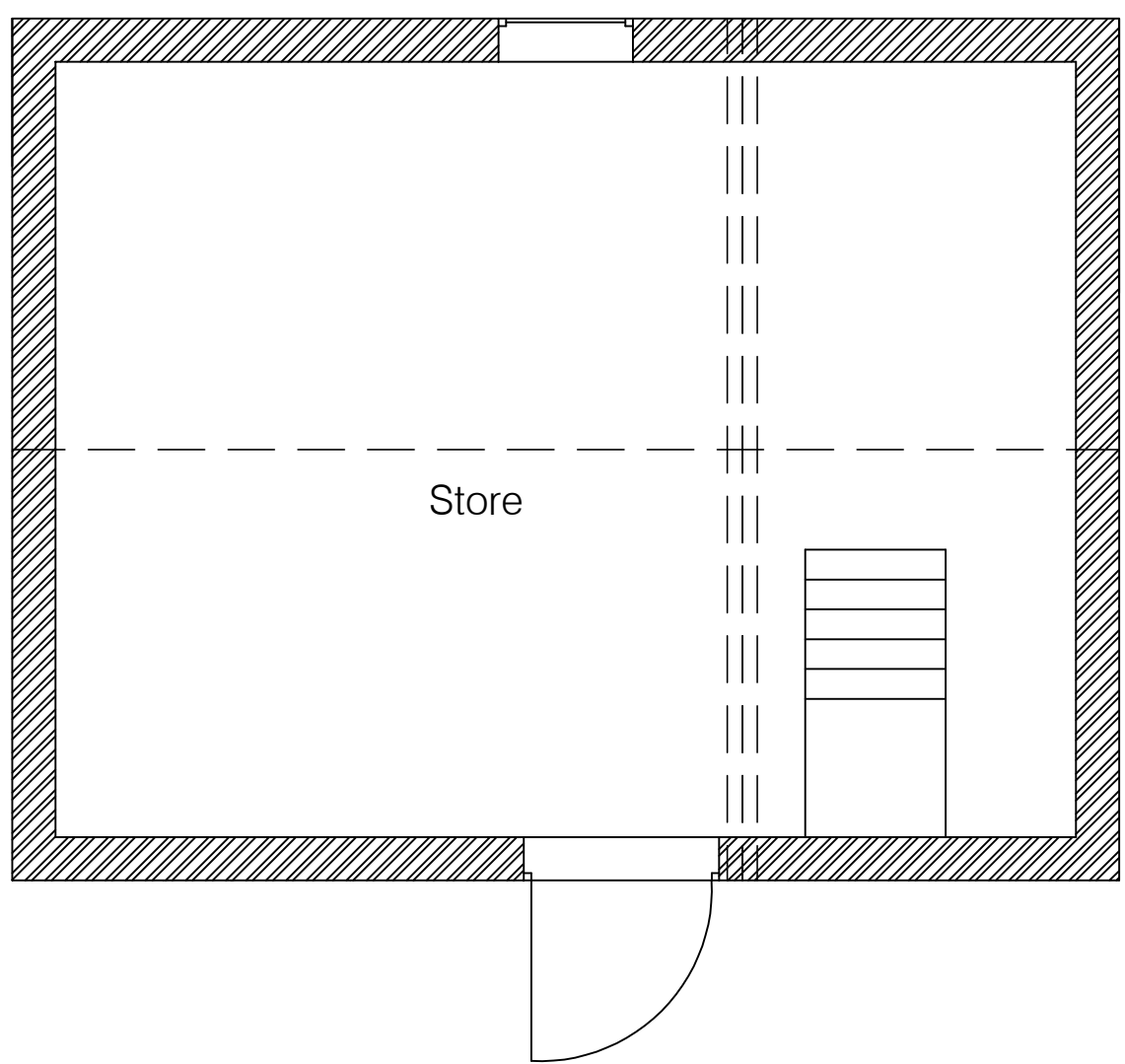


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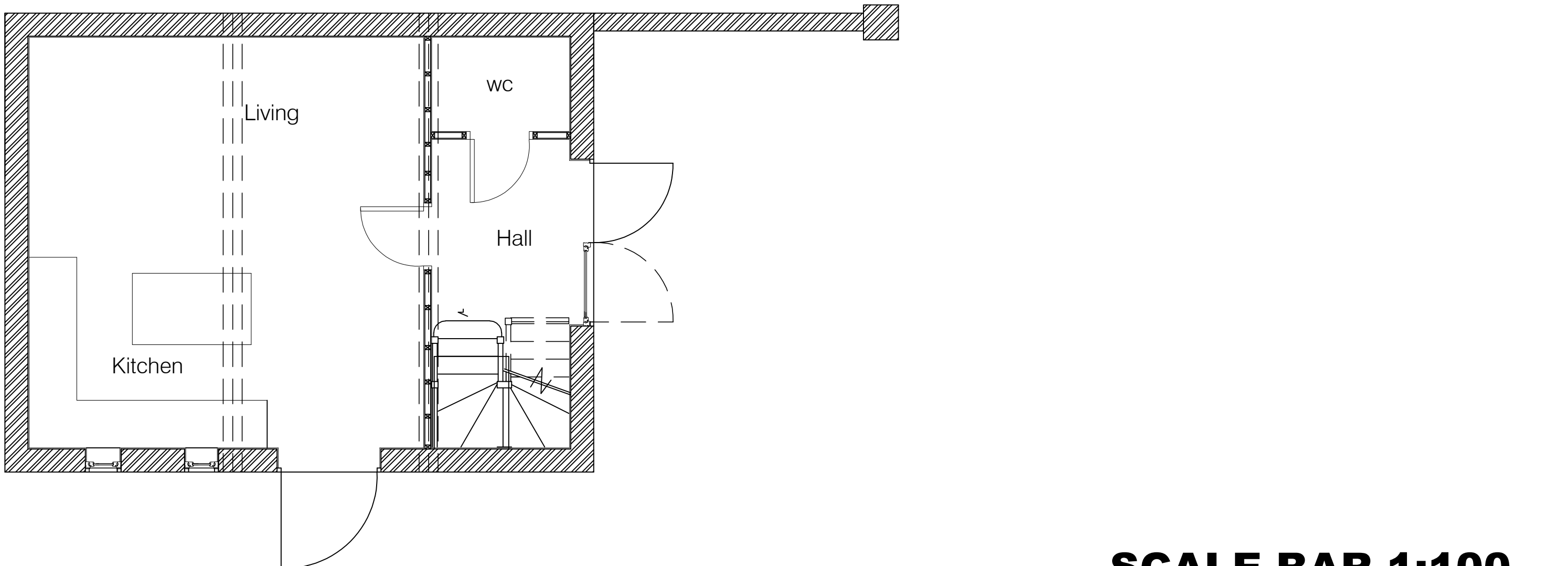
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 Scale 1:500 - 1cm = 5m



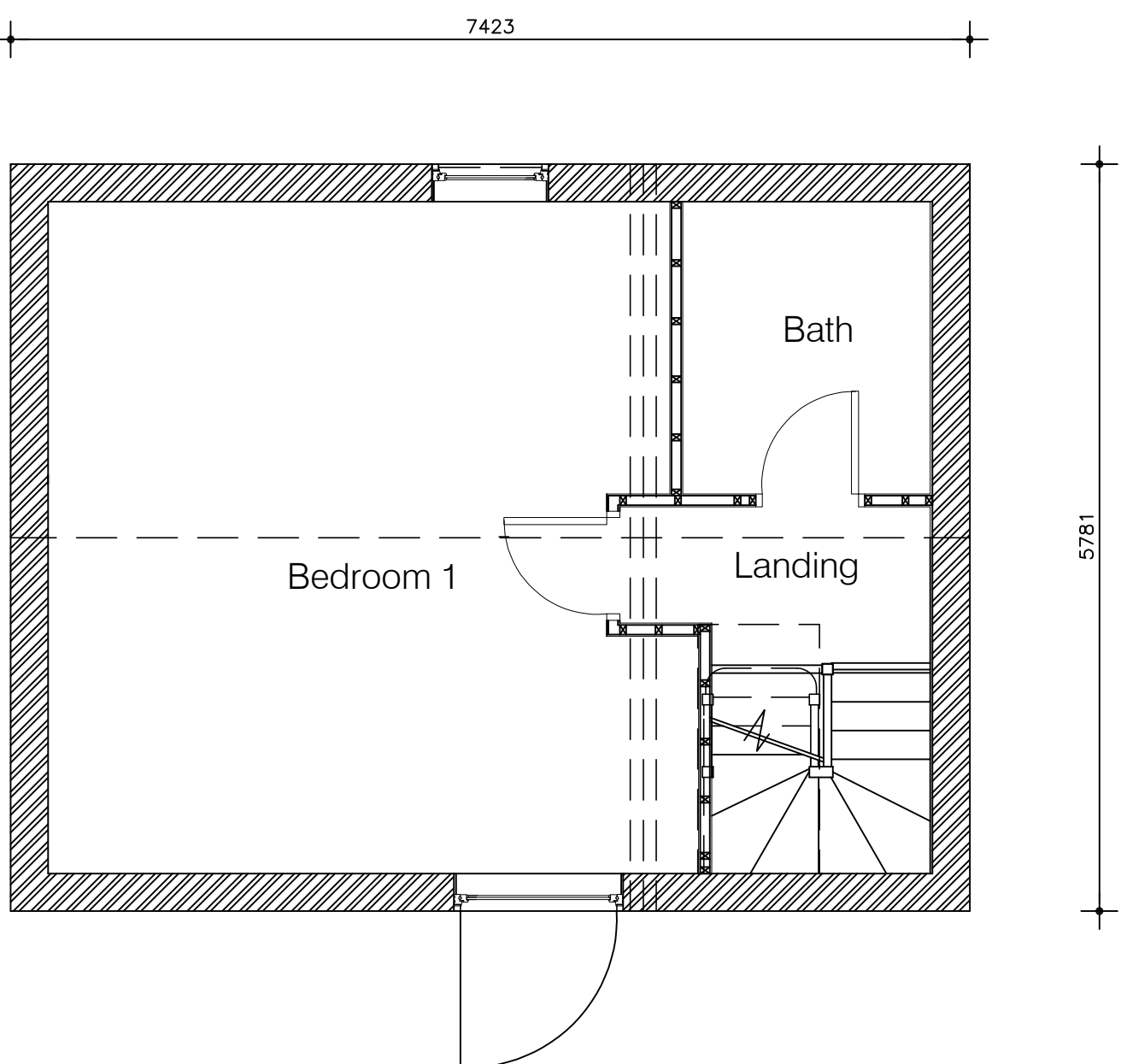
Existing Ground Floor Plan. 1:50.



Existing First Floor Plan. 1:50.



Proposed Ground Floor Plan. 1:50.



Proposed First Floor Plan. 1:50.

BEAWARE PRIOR TO COMMENCEMENT
Contractor to check and confirm all existing dimensions and features positions and is to work to suit site dimensions.

Client to inform of any deviation from drawing or specification and Clients and Building Inspector's and/or Planning departments permission to be obtained prior to commencement on site.

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Revision: By Approved
Revision 'D' Planning changes. By Paul B April 25

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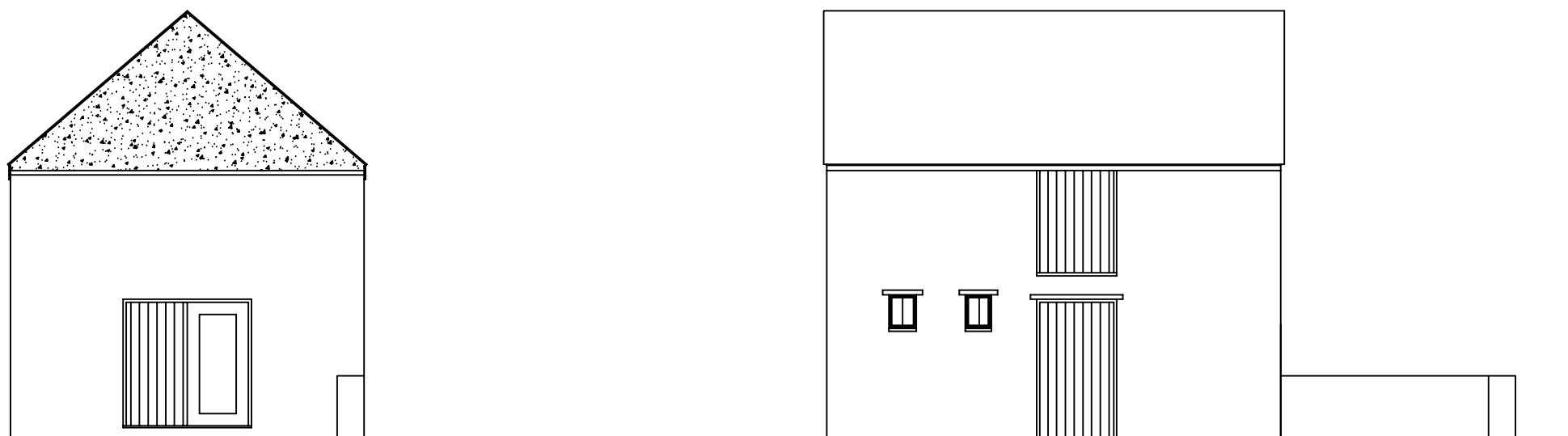
Client:
MR AND MRS LANCASTER

Project:
PROPOSED PLANNING APPLICATION FOR
CONVERSION OF LISTED BUILDING INTO DOMESTIC
DWELLING AT 50 HIGH STREET, BRAMPTON
CAMBS.

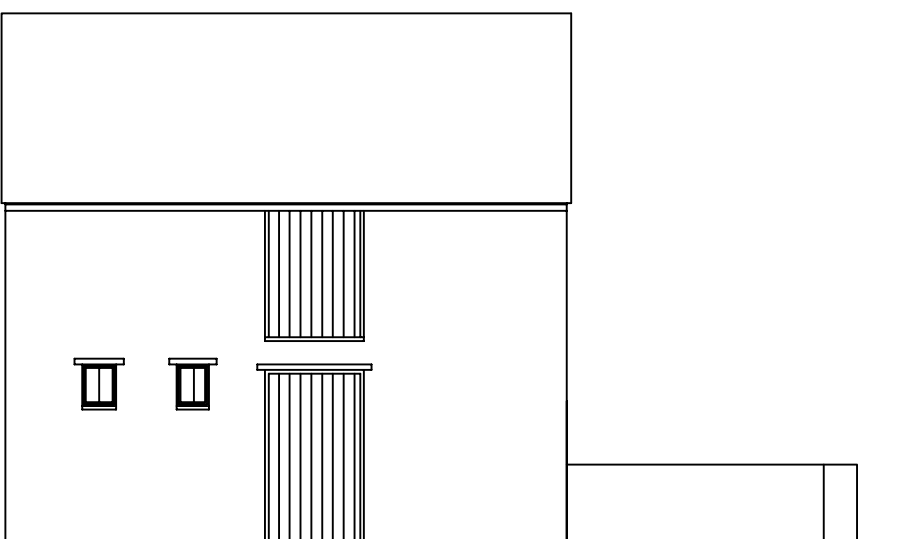
Drawing Title:
EXISTING AND PROPOSED.

Scale: 1: 50, 1:100	Date: JULY 24	Drawn: PB
Project No: 3098	Drawing No: 101	Revision: D

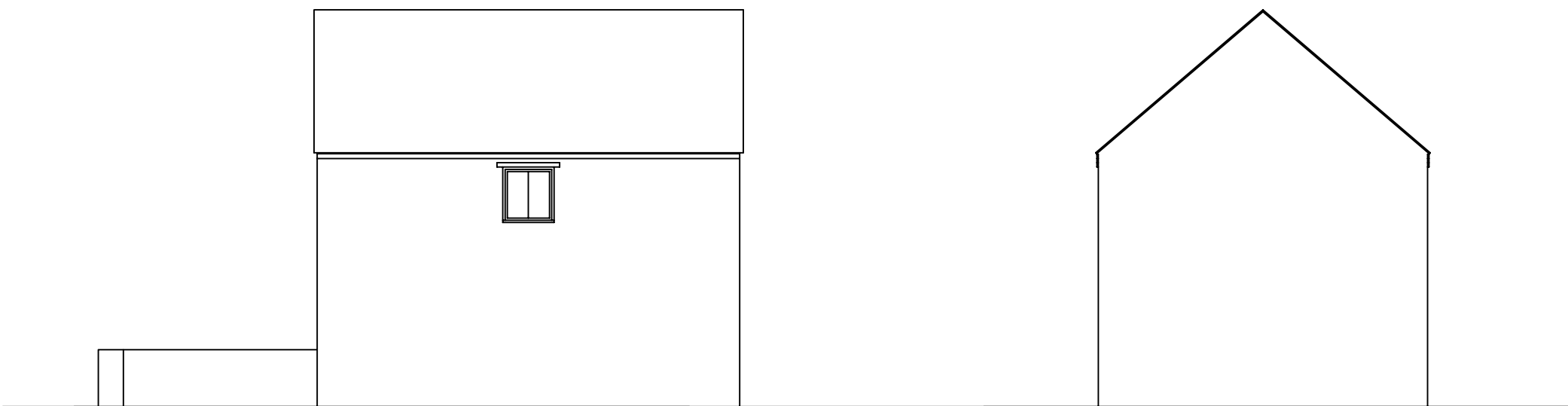
Copyright Jk Architecture. All dimensions to be verified on site.



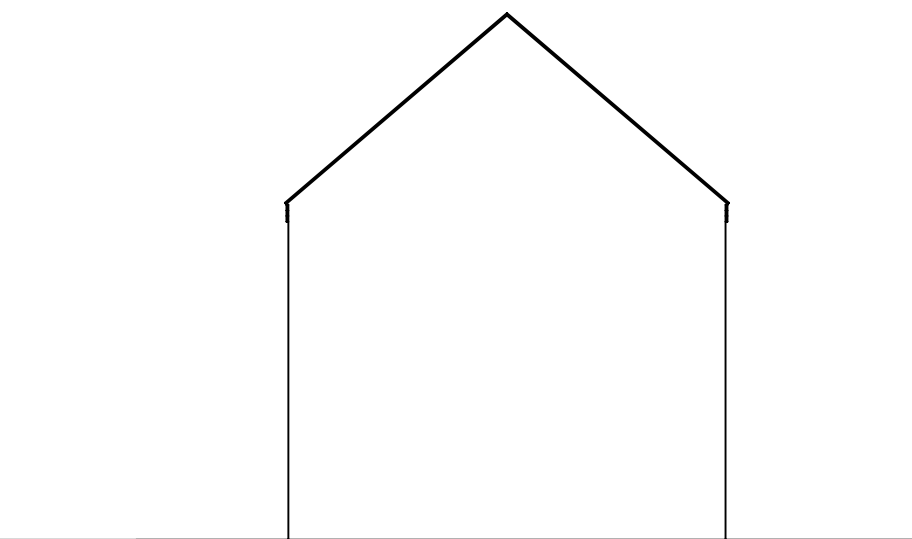
Proposed Side Elevation. 1:100.



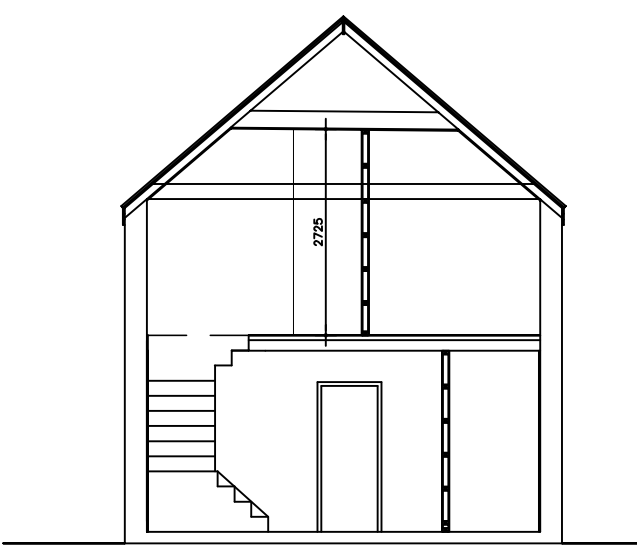
Proposed Rear Elevation. 1:100.



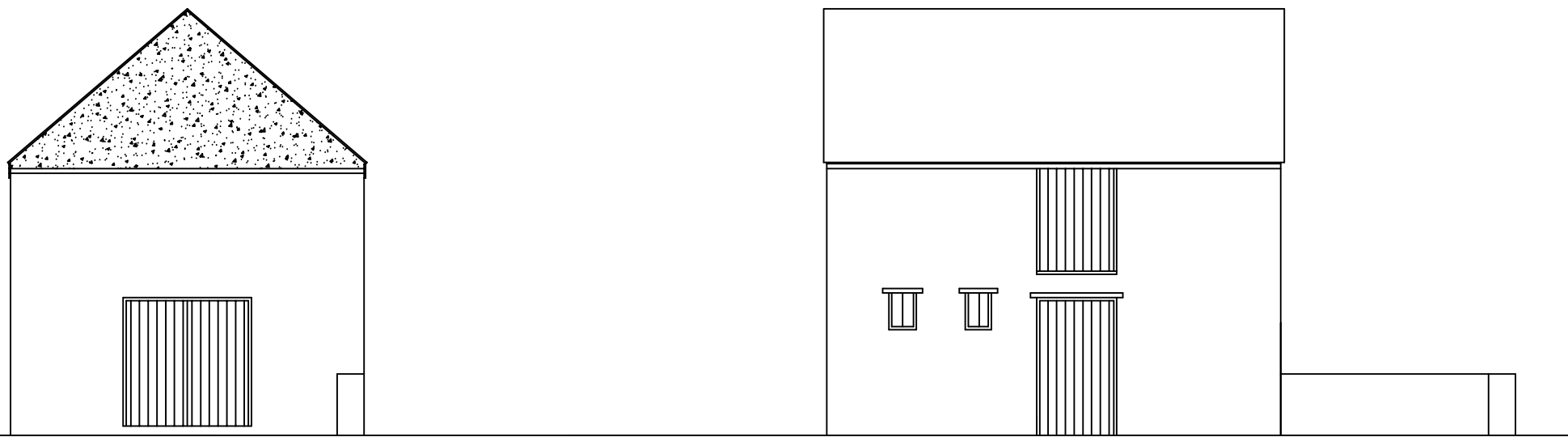
Proposed Front Elevation. 1:100.



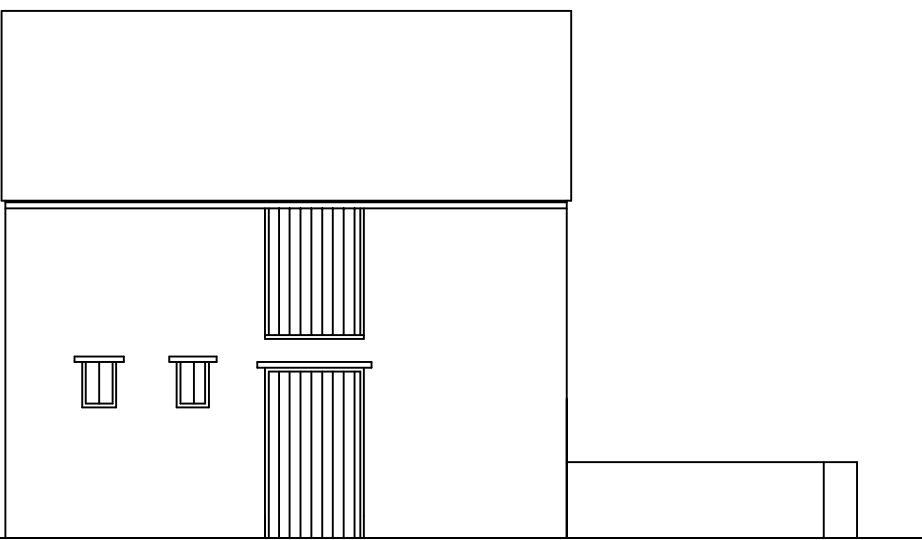
Proposed Side Elevation. 1:100.



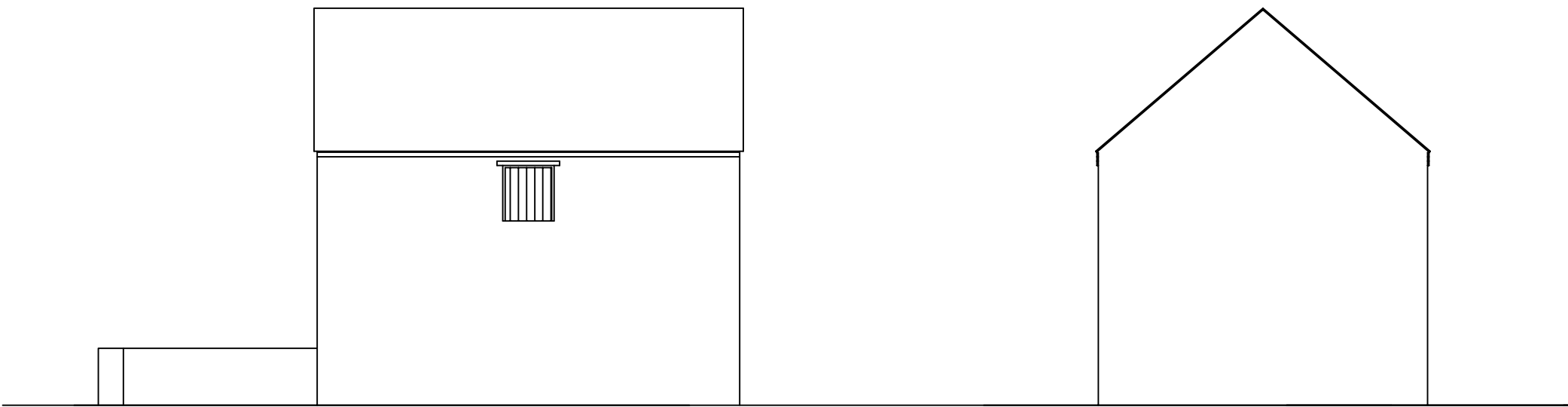
Proposed Section. 1:100.



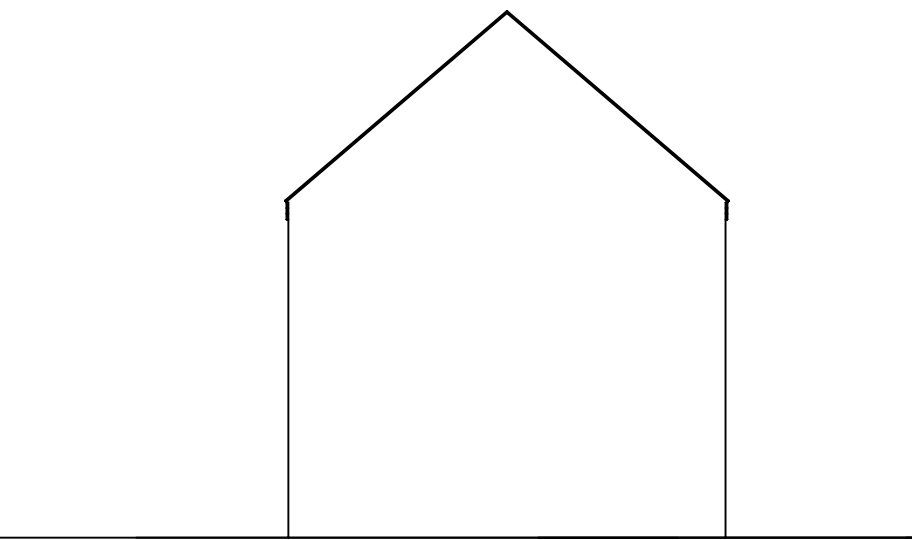
Existing Side Elevation. 1:100.



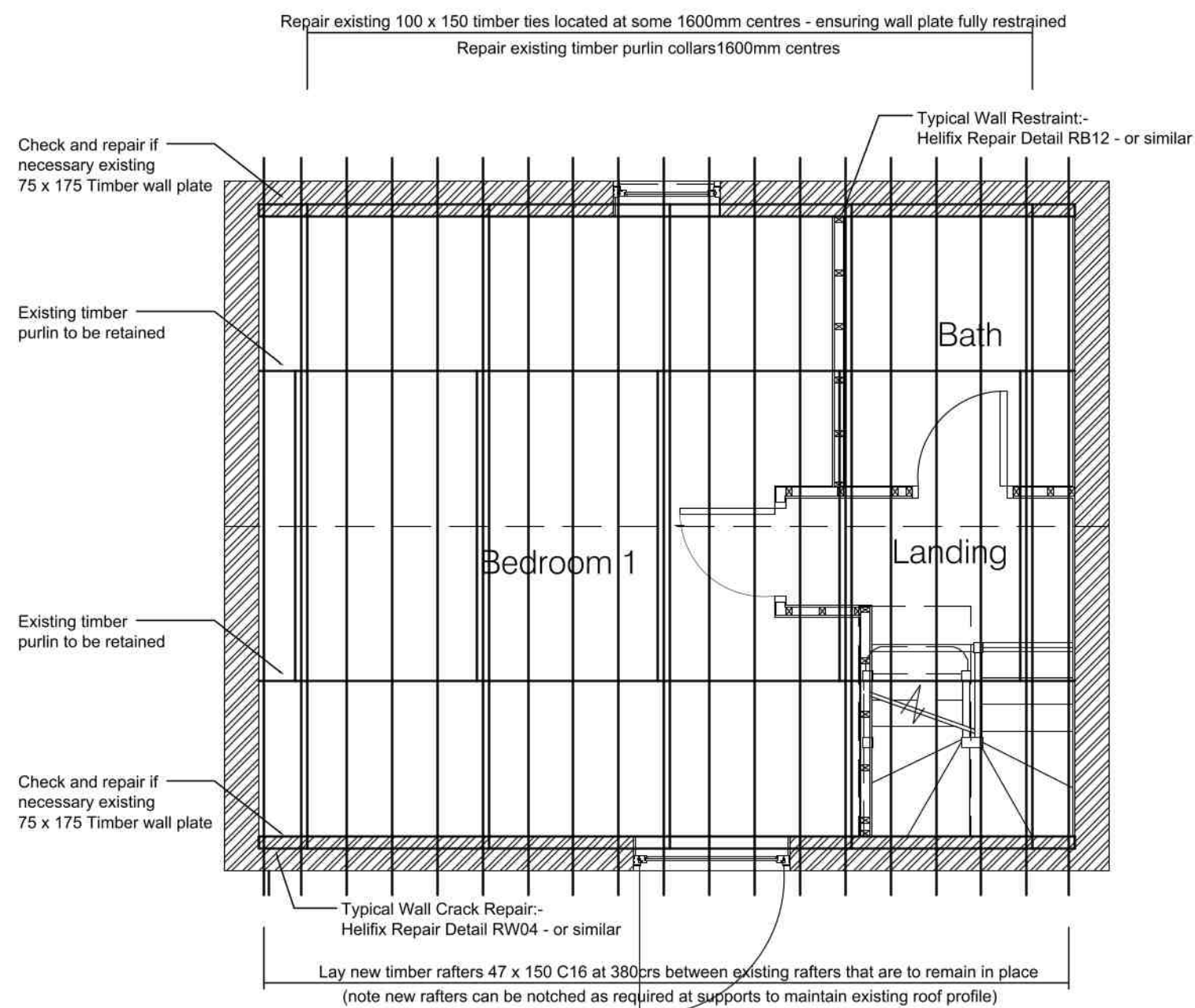
Existing Rear Elevation. 1:100.



Existing Front Elevation. 1:100.

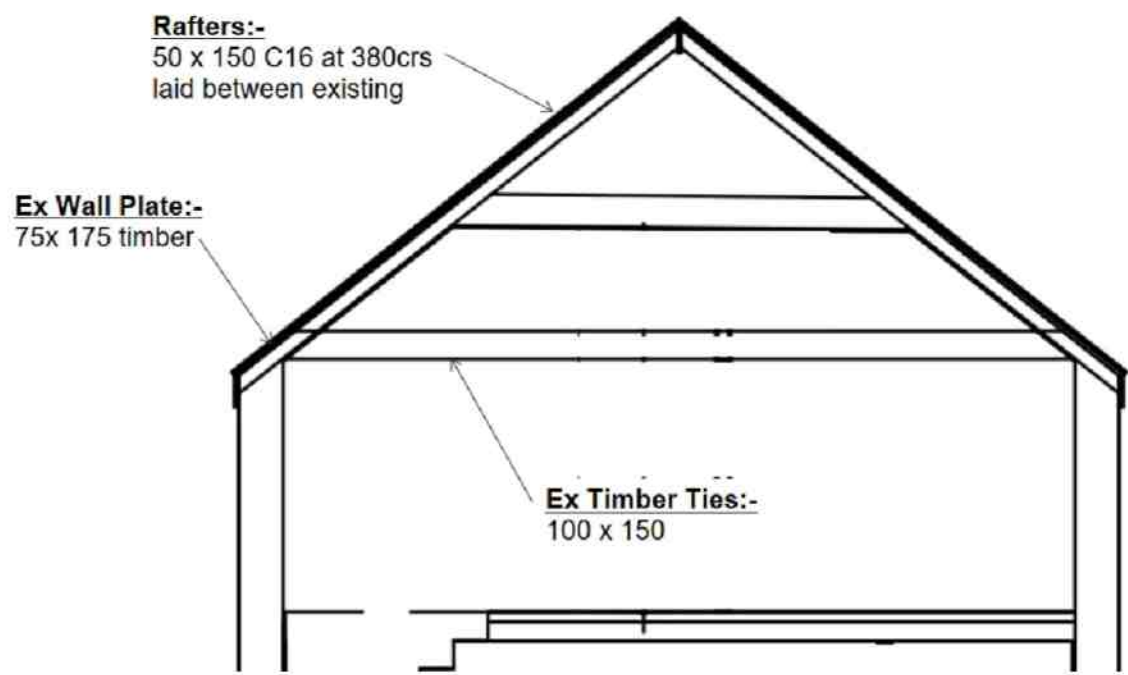


Existing Side Elevation. 1:100.

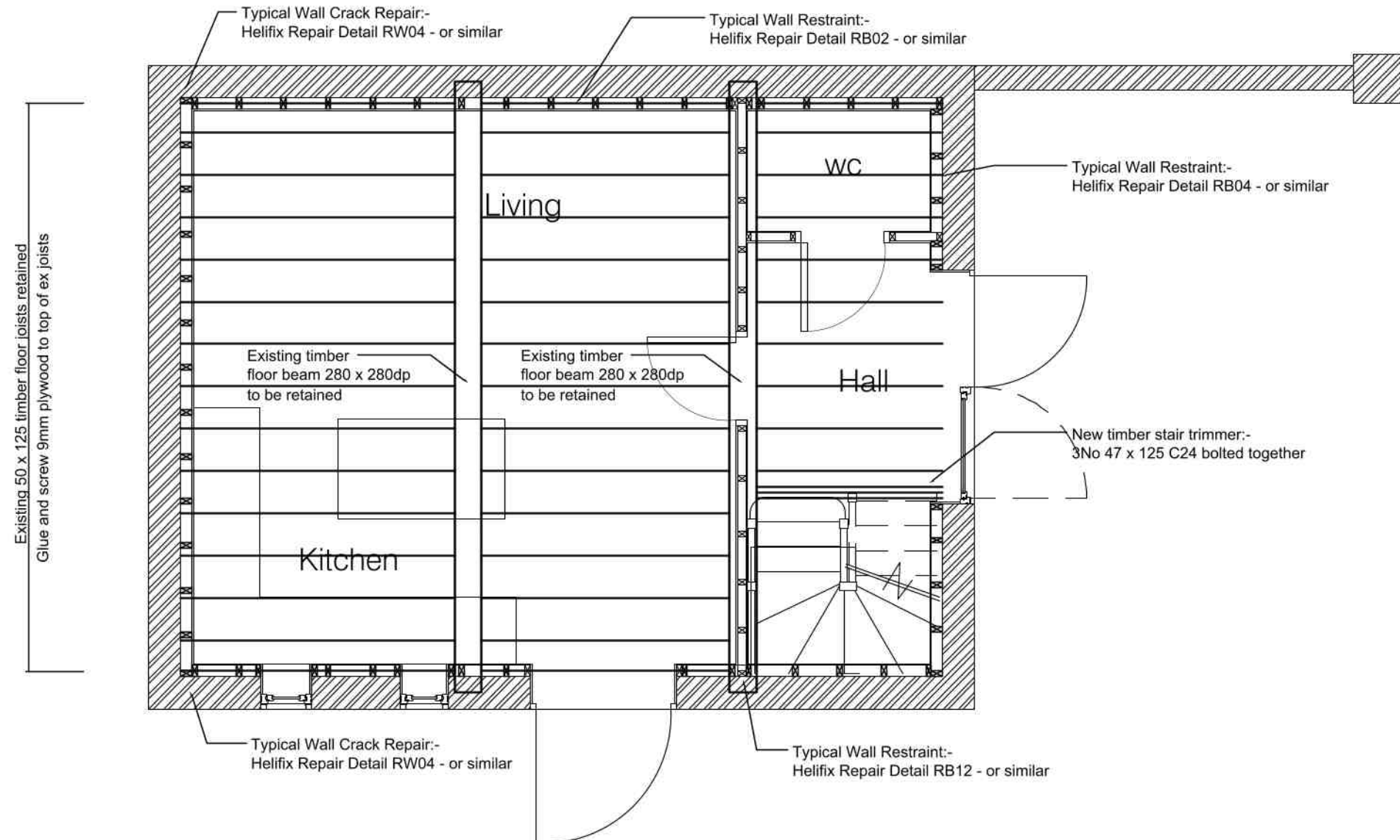


Roof Framing Plan.

Setting out to be confirmed by others prior to construction.

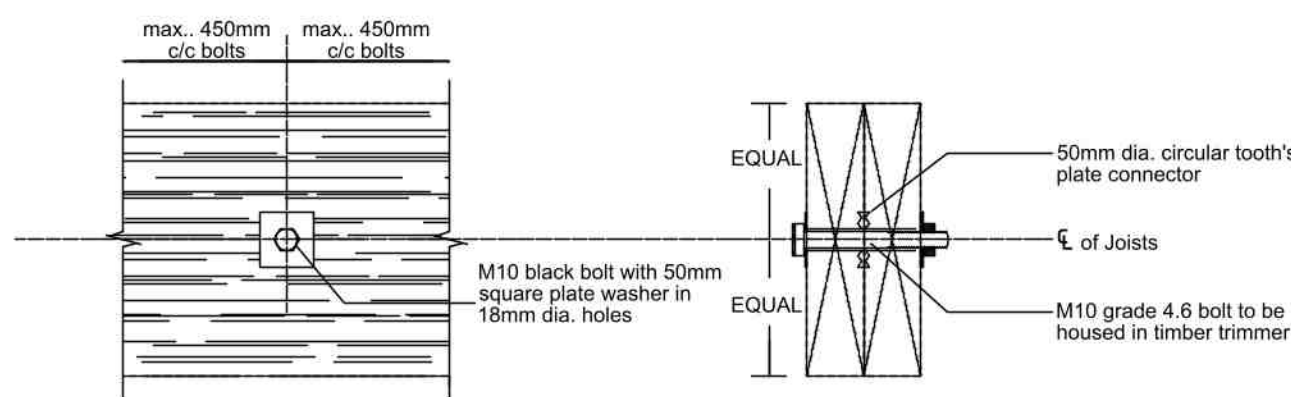


Typical Section thro Roof.

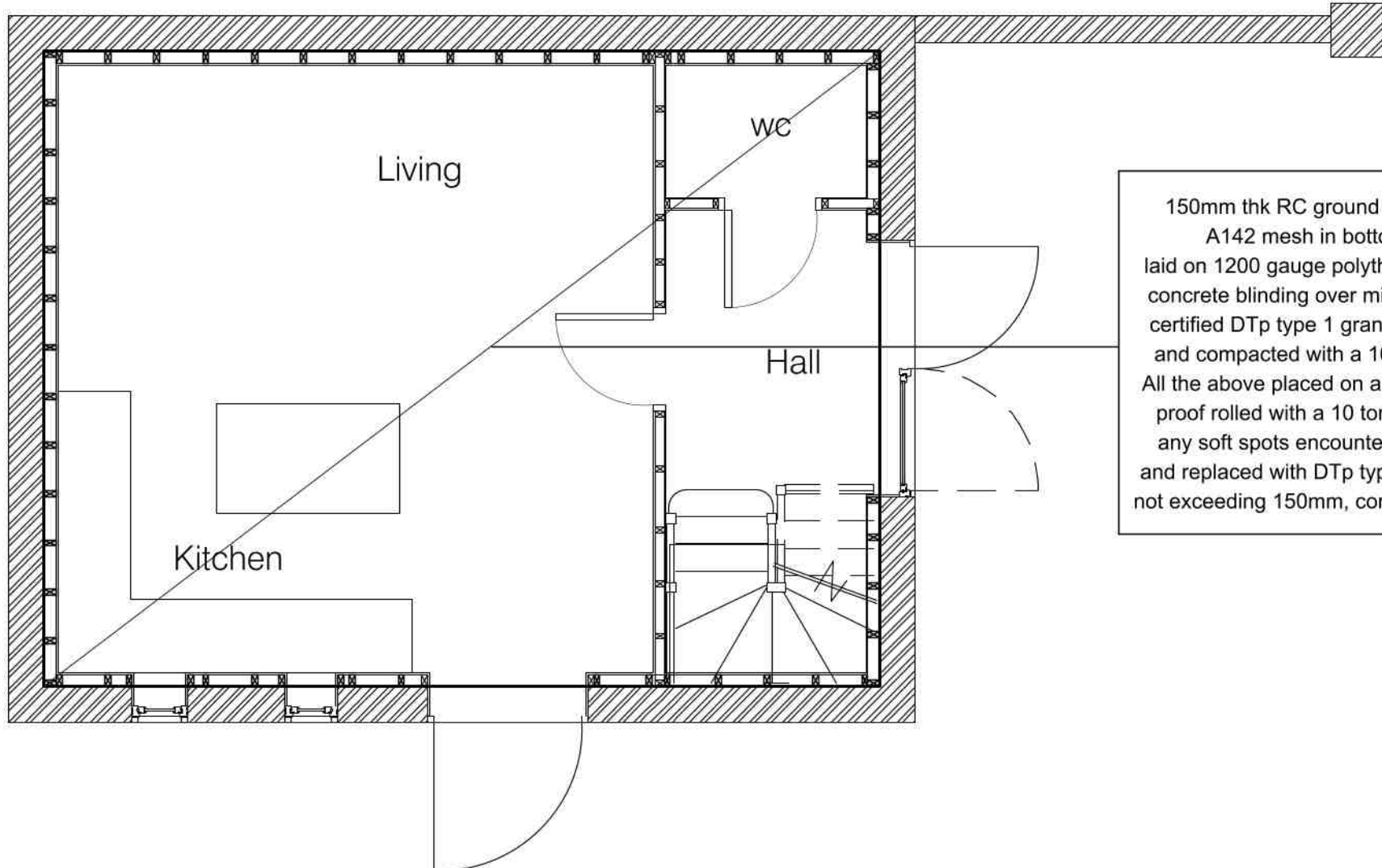


First Floor Framing Plan.

Setting out to be confirmed by others prior to construction.

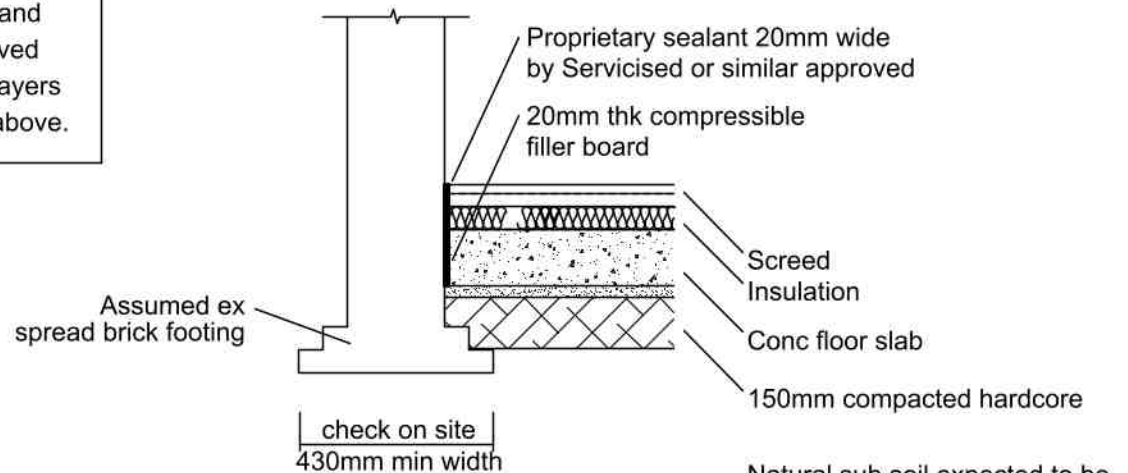


Typical New Joist Bolting Detail.



Ground Floor Framing Plan.

Setting out to be confirmed by others prior to construction.



Ex Foundation/Ground Floor Detail. [1:25]

CONTRACTORS NOTES:

- All dimensions are shown in mm. Working dimensions to be checked on site prior to construction.
- This drawing must be read in conjunction with all relevant Clients drawings, details and specifications.
- The Contractor is to be responsible for following aspects of the works -
 - for complying with the CDM regulations at all times.
 - location of existing services within the works area.
 - STABILITY OF THE STRUCTURE AND ADJACENT STRUCTURES THROUGHOUT THE WORKS.**

PROJECT NOTES:

All setting out to Architects details.

Stairs including Lands to Architects details.

TIMBER FLOOR CONSTRUCTION NOTES.

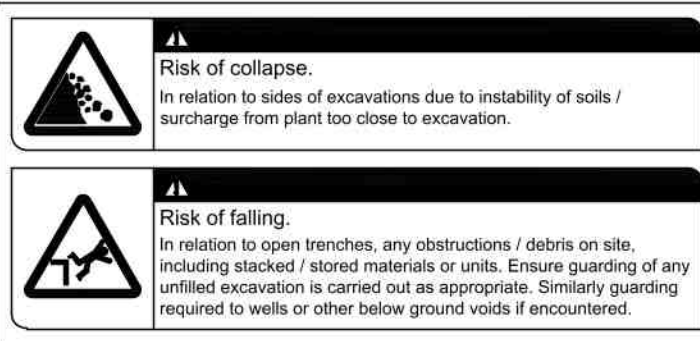
- All structural timber members to be of minimum size as shown on the detail drawings. sizes shown are nominal timber sizes except as noted on the drawings and will be subject to reductions in finished size to b.s.4471
- Timber joists shall have minimum bearings of 100mm on masonry and 75mm on timber plates except as noted on the drawings.
- All members supported on proprietary hangers shall be accurately cut to provide a full contact with the base of the hanger and shall be fixed in accordance with the hanger manufacturers instructions. Joists shall be rebated to lie flush with underside of hangers.

Ground Floor Construction Notes.

- for setting out information refer to architects plans.
- the groundworker shall protect the formation from degradation due to ground water or instability.
- concrete for ground floor slab to be a Gen 1 mix for a class 1 sulphate condition in accordance with BRE digest 363. Subject to site investigation

Remedial and Brickwork Repairs.

- Refer to Helifix specification and details for remedial works.
- All Helifix remedial works to be strictly in accordance with their specification.



Planning Appeal Decisions Since November 2025 Committee

Ref No	Appellant	Parish	Proposal	Site	Original Decision	Delegated or DMC	Appeal Determination	Costs
25/009 66/PIP	Mr D Biagioni	Ellington	Permission in principle for a minimum of seven and a maximum of nine dwellings, not to exceed a total GIA of 999m2	Land West of Grove Cottage Malting Lane Ellington	Refused	Delegated	Allowed	No

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